

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

John Kerr – Chair
David Thomas – Vice Chair
Mitch Gregory – Sec

Heather Bay
Amanda Carman
Rhonda Keisling

Carol Pruitt
David Nollner
Thomas Harper

JUNE 12, 2023 | 7:00PM | TC COMMUNITY CENTER

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting May 8, 2023

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

OLD BUSINESS

Site Plan

- Site plan approval for Rock Wall RV Park by Chris Barber on Hwy 25 and Hwy 231 (Map 29 Parcel 4.02) in the 6th Civil District.

NEW BUSINESS

Rezoning

None

Site Plan

- Dollar Tree Retail Store by R&C Enterprises on Hwy 25 (Map 19N Parcel C 2.00) on 1.258 acres in the 7th Civil District

DISCUSSION

- Commercial Building Design Guidelines
- Codes and Zoning discussion

REPORT FROM CHAIRMAN

CLOSING REMARKS

ADJOURN

Hartsville/Trousdale County Planning Commission

Meeting Minutes

May 8, 2023 - 7:00 P.M. – Trousdale County Community Center

Present: Heather Bay, Amanda Carman, Mitch Gregory, Thomas Harper, Rhonda Keisling, John Kerr, David Nollner, Carol Pruitt, David Thomas, Kealan Millies-Lucke (GNRC)

Absent: None

Others Present: Randall Beach, Jim Carman, Jason Cook, Stanley Hughes, Rosalie Myhan, Bill Roberson, Bernie Vaughn, Ellen Willett

Roll Call

Chairman Kerr called the meeting to order at 7:00 P.M. and conducted a roll call.

Approval of Minutes

Chairman Kerr asked for a review of the April 10th, 2023 meeting minutes. Heather Bay made motion to approve minutes. Seconded by David Thomas. None opposed **MOTION CARRIED**

Changes to the Agenda - no changes. **MOTION CARRIED**

Public Hearing – None

Old Business – None

NEW BUSINESS

Election of Planning Commission Secretary

Mitch Gregory submitted his resignation from the Secretary position due to work circumstances. David Thomas nominated David Nollner as Secretary. Motion failed due to lack of a second. Rhonda Keisling nominated Amanda Carman as Secretary. Seconded by Heather Bay. Thomas Harper made a motion for nominations to cease and elect by acclamation. Seconded by Carol Pruitt. None opposed.

MOTION CARRIED

Rezone A-1 to R-1 by Jason Cook at 485 Temprow RD (Map 016 Parcel 06.17) to use different setbacks in the 7th Civil District

Jason Cook spoke on behalf of himself. Mr. Cook wants to rezone this property to use different setbacks to extend the front of his home. David Thomas made a motion to send to the county commission with favorable approval. Seconded by Mitch Gregory. None opposed.

MOTION CARRIED

Site plan approval for RV Campground by Chris Barber on Hwy 25 and Hwy 231 (Map 29 Parcel 4.02) in the 6th Civil District.

Chris Barber spoke on behalf of himself. Mr. Barber wants an approval for a site plan for a RV Campground which he intends to name Rock Wall RV Park. Bernie Vaughn, Bill Roberson, Stanley Hughes, and Ellen Willett all spoke up in favor of the plans Mr. Barber has for the RV Campground. David Thomas made a motion to defer the site plan until Mr. Barber can come back with a more detailed site plan addressing issues cited by Kealan Millies-Lucke and other issues brought up during the review. Seconded by Amanda Carman. Mr. Barber will also be provided with a list of the issues. None opposed.

MOTION CARRIED

Site plan approval for The Maples A Tiny Home Community by Beach One Properties LLC on Old Halltown RD (Map 19 Parcel 14.04) for 59 units on 5.01 acres in the 7th Civil District

Randall Beach spoke on behalf of himself. Mr. Beach wants an approval for a site plan for The Maples A Tiny Home Community by Beach One Properties LLC. David Thomas made a motion to defer the site plan until the next Planning Commission meeting to allow Mr. Beach time to gather new information based on the issues cited by Ms. Millies-Lucke. Seconded by Heather Bay. None opposed **MOTION CARRIED**

Final Plat approval for Dustin Marcellino on Western Ave of 6.19 acres (Map 19-N E 30.02) for 6 lots in the 7th Civil District

Jim Carman presented the final plat. Finding no further issues, Mitch Gregory made a motion to approve the final plat. Seconded by Heather Bay. None opposed **MOTION CARRIED**

DISCUSSION ITEMS

Commercial Building Design Guidelines

GNRC staff presented the purpose and intent samples from other counties around. After a brief discussion, it was decided to go with a statement similar to Coopertown with modifications. Ms. Millies-Lucke presented roof guidelines from other counties. After a brief discussion, it was decided to go with a statement similar to Gallatin with modifications. Ms. Millies-Lucke then presented Dumpster Screening Requirements from other counties. After discussion, it was decided to go with a statement similar to Gallatin with modifications.

Closing Remarks from the Chair and Planning Office

Rosalie Myhan shared the financial status of the Planning Office from the last two years, comparing Building Permit and Impact Fees receipts to the Planning Office budget. Rezoning Fees collected were presented as will and a reminder of the new Fee Schedule which became effective May 1st, 2023.

Adjourn

Carol Pruitt made a motion to adjourn. None opposed

MOTION CARRIED

*Minutes submitted by
Amanda Carman, Secretary*

Planning Office

Statistics

Fiscal Year July 01,2021 thru June 30,2022

Budget Amount 2021-2022

Building Permit Fees Collected \$217,061.00

Adequate Facilities/Development Tax \$162,050.00

~~Total Collected \$379,111.00 \$115,577.00~~

Fiscal Year July 01,2022 thru April 30,2023

Budget Amount 2022-2023

Building Permit Fees Collected \$184,895.00

Adequate Facilities/Development Tax \$139,667.00

Total Collected \$324,562.00 \$136,056.00

ReZoning Collections

2021-2022 \$3,000.00

2022-2023 \$2,700.00

New Fee Schedule Effective May 1, 2023

Rezone Application \$ 350.00

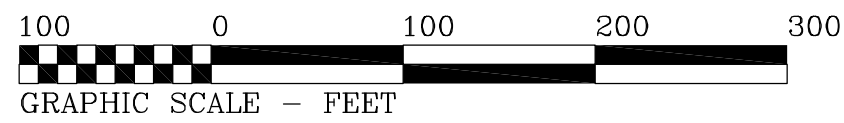
Site Application \$ 250.00

Plat Amendment Application \$ 200.00

Minor Subdivision Application \$ 250.00

Major Subdivision Application \$ 500.00

All Applications to the BZA \$ 350.00



KENNETH R. KELLER
 RECORD BOOK 66, PAGE 287
 MAP 29, PARCEL 2.03

ENON MISSIONARY BAPTIST CHURCH
 RECORD BOOK 69, PAGE 263
 MAP 29, PARCEL 3.01

HAROLD GENE CARMAN, IV
 RECORD BOOK 157, PAGE 575
 MAP 29, PARCEL 3.00

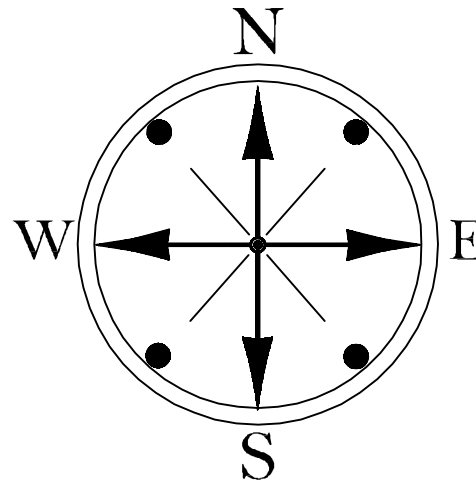
10.00 AC. +-
 ZONED C-1

JASON ALLEN MCKINNEY
 RECORD BOOK 88, PAGE 536
 MAP 29, PARCEL 4.04

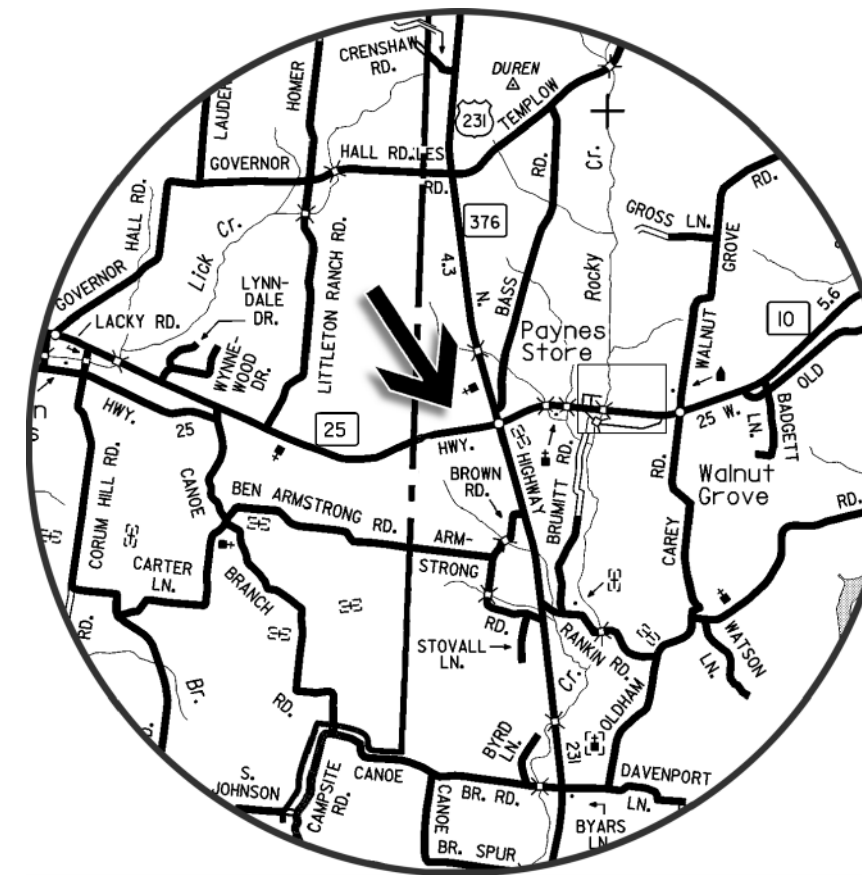
KRISHA 810, LLC
 RECORD BOOK 136, PAGE 827
 MAP 29, PARCEL 4.01

STATE HIGHWAY #25

U.S. HIGHWAY #231



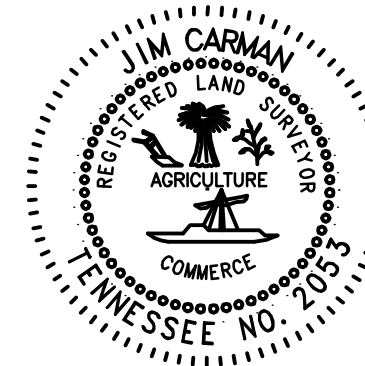
LOCATION SKETCH n.t.s.



NOTES:

1. THIS TRACT AND ALL ADJOINING LAND IS ZONED C-1.
2. THIS PROPERTY DOES NOT LIE IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD". SEE COMMUNITY PANEL NUMBER 47169C0019C. EFFECTIVE DATE SEPTEMBER 29, 2010.
3. 18 CAMPSITES PROPOSED
4. ALL CAMPSITES WILL MEET OR EXCEED THE FOLLOWING SPECIFICATIONS:
 - A. 800 SQUARE FEET
 - B. 1 PARKING SPACE
 - C. 1 WATER SPIGOT PER 4 SITES
 - D. 1 TRASH BIN PER 2 SITES
 - E. 1 FIREPLACE OR GRILL
 - F. 1 PICNIC TABLE
5. THE RADIUS OF ALL INTERIOR ROADS SHALL BE A MINIMUM OF:
 - 90 DEGREE TURN - 40 FEET
 - 60 DEGREE TURN - 50 FEET
 - 45 DEGREE TURN - 68 FEET

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.



CARMAN SURVEYING
 50 LINDA LANE
 HARTSVILLE, TENNESSEE
 PHONE: (615) 374-3344

SITE PLAN FOR
ROCK WALL RV PARK

LOCATED IN THE 6TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

SCALE : 1" = 100'
 DATE : MAY 30, 2023
 SIZE : 10.00 AC.+-
 DEED : R. B. 91, PG. 665, R.O.T.C.T.
 MAP : MAP 29, PAR. 4.02, T.A.O.T.C.T.

DRAWING INDEX

SHEET NO.	TITLE
C-1.0	COVER SHEET
C-2.0	SITE PLAN
C-3.0	UTILITY PLAN
C-4.0	PRE-EROSION/DEMO
C-4.1	GRADING AND DRAINAGE
C-4.2	FINAL STABILIZATION PLAN
C-5.0	DETAILS
C-5.1	DETAILS
C-5.2	DETAILS
C-6.0	WB-67
L-1.0	LANDSCAPING

DOLLAR TREE HARTSVILLE, TN SITE DEVELOPMENT PLANS MAY 24, 2023

OWNER /DEVELOPER:
R&C ENTERPRISES
RICK MORROW, DEVELOPER
901 WEST MAIN STREET
HOHENWALD, TN 38462

PROPERTY ADDRESS:
HIGHWAY 25
HARTSVILLE, TN

LAND DATA:
ZONING: C-2 (HIGHWAY COMMERCIAL)
AREA: 1.26 AC. +/-

R.B. 133, PG. 139 R.O.T.C.T
MAP 19-N, PARIS, C-20.01 & C-20.0, T.A.O.T.C.T.

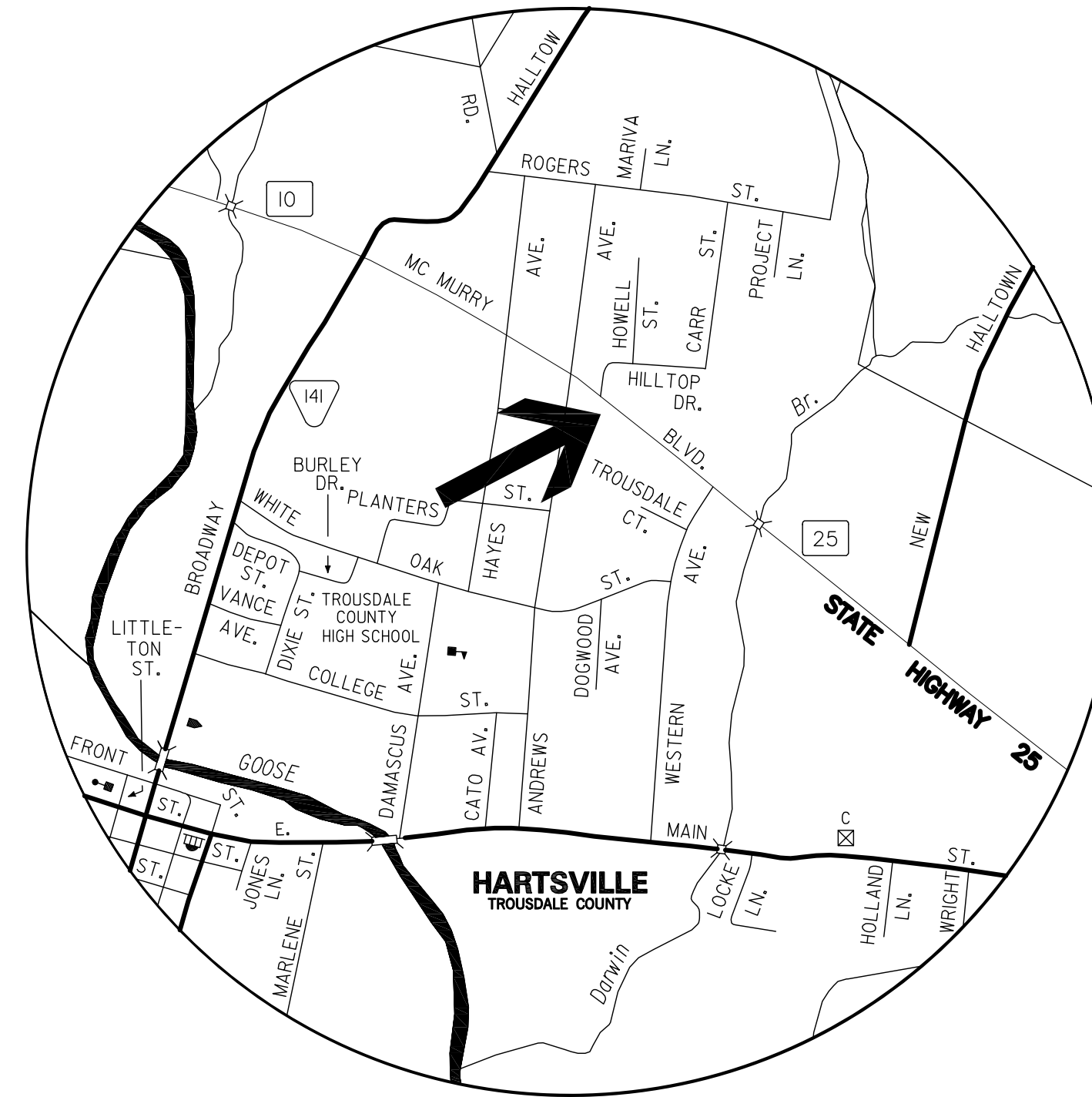
FLOODPLAIN NOTE:
THIS SITE LIES WITHIN ZONE X, AREA OF
MINIMAL FLOOD HAZARD, PER FEMA COMMUNITY
PANEL 47169C0043C DATED
SEPTEMBER 29, 2010.

YARD REQUIREMENT:
FRONT: 30'
SIDE: 20'
REAR: 15'

INTENDED USE: RETAIL

PARKING:
PARKING REQUIREMENT: 1 SPACE PER 200 S.F.
TOTAL FOOTAGE: 10,000

PARKING REQUIRED: 50
PARKING PROVIDED: 45
(2 HANDICAP)



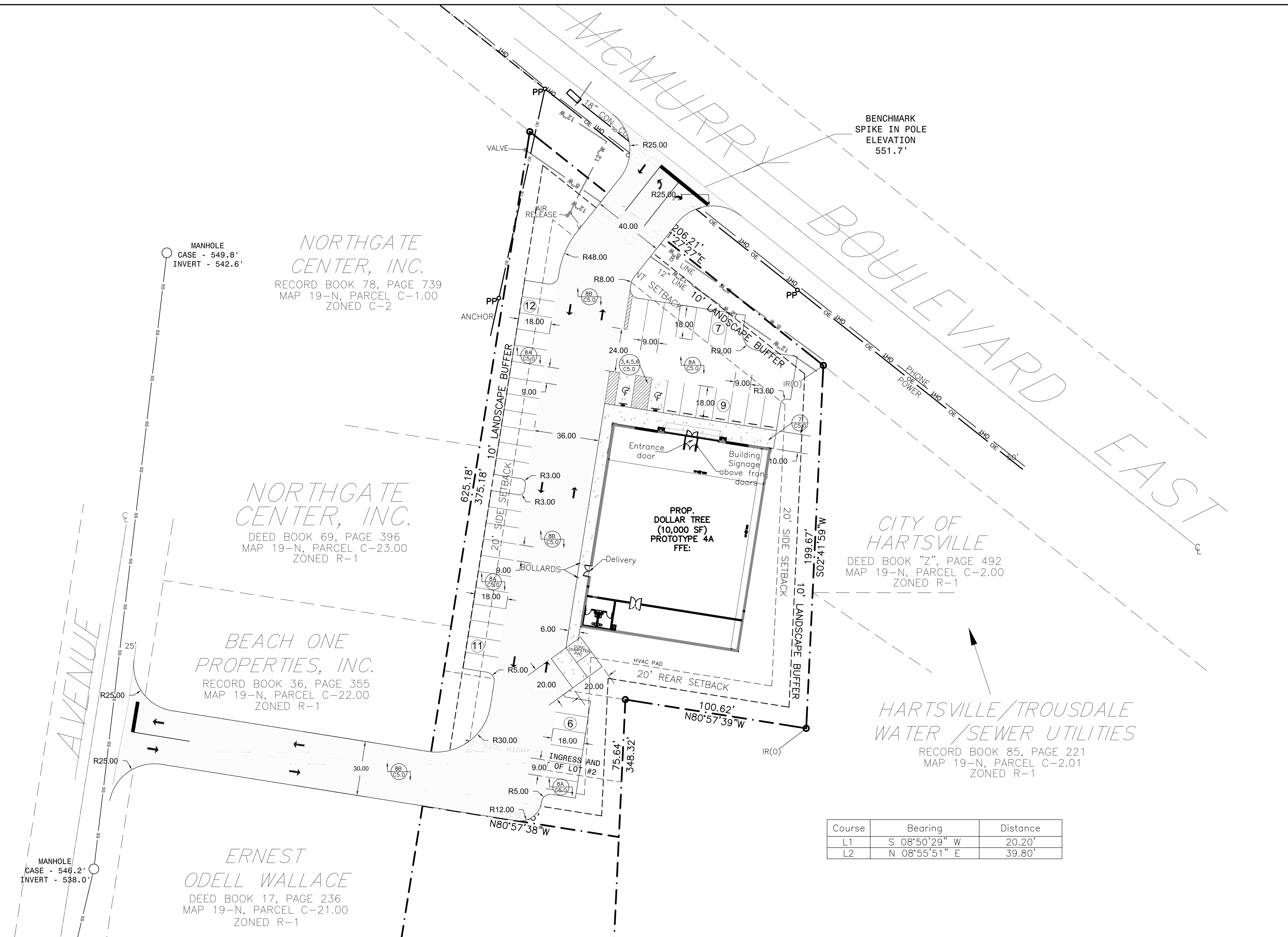
VICINITY MAP

TDEC TNR#

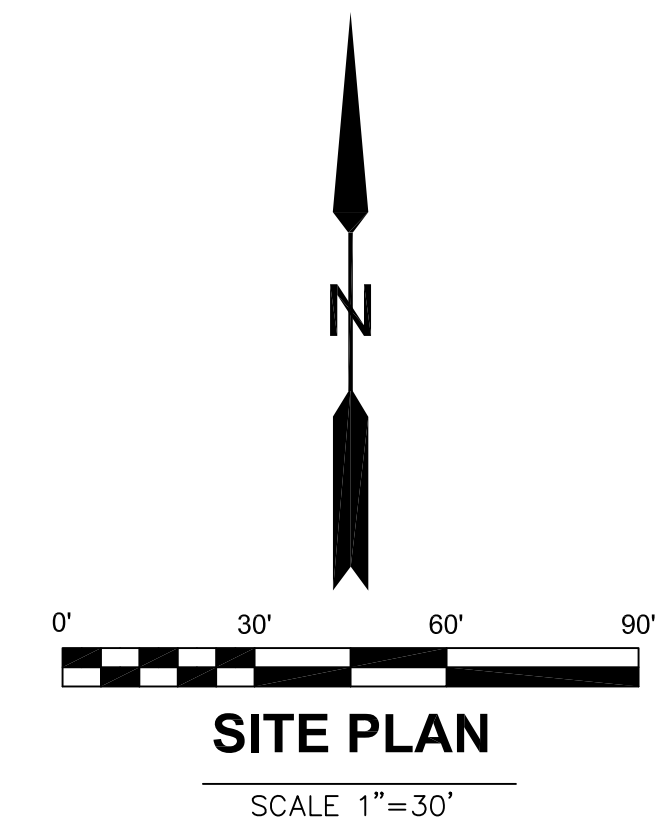
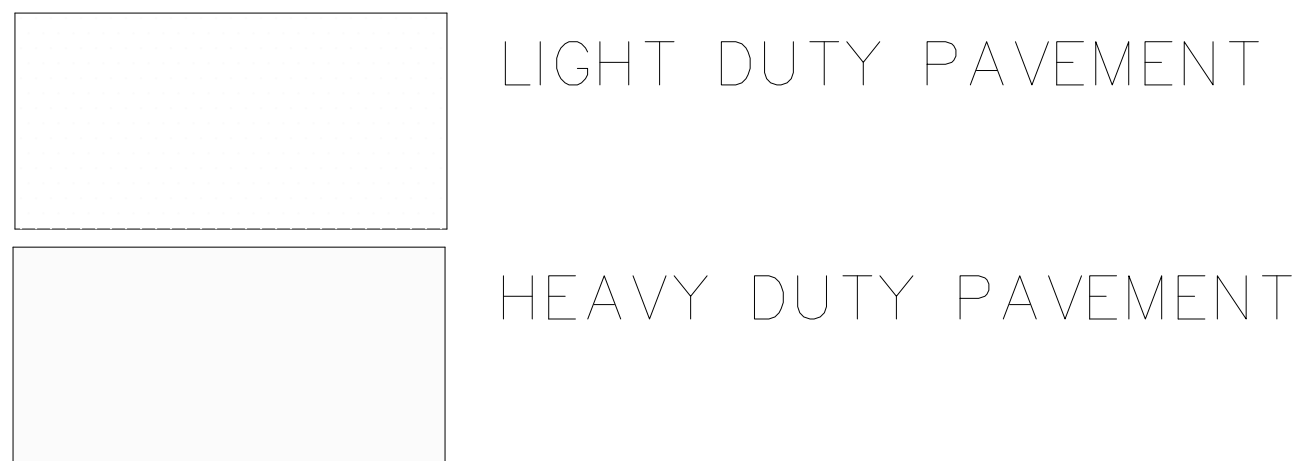
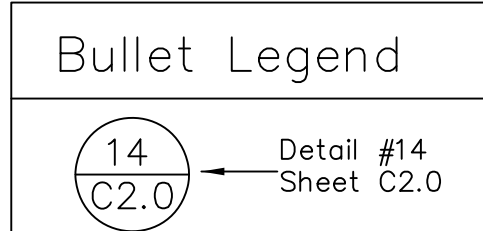


GENERAL CONSTRUCTION NOTES

- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS BEFORE BEGINNING CONSTRUCTION.
- VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY CONSTRUCTION INSPECTION OFFICE & ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES PRIOR TO INITIATING CONSTRUCTION. SEE SPECIFIC NOTES, DRAWINGS, & DETAILS FOR MEASURES REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY EXISTING ASPHALT PAVEMENT, PRIVACY FENCES AND WALLS, CONCRETE CURBS, OR SIDEWALKS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY TRENCH STABILIZATION REQUIRED BY OSHA CONSTRUCTION STANDARD FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION RELATED SURVEYING, INCLUDING ALL LAYOUT AND GRADE STAKING. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR GEOTECHNICAL TESTING.
- THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% PROCTOR DENSITY (ASTM D-98) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED EIGHT (8) INCHES OF COMPACTED THICKNESS.
- ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED FERTILIZED AND OR SODDEN AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES CALL TN ONE CALL AT 811.
- ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
- EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ON THIS PLAN ARE TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY FROM L.I. SMITH AND ASSOCIATES.



Course	Bearing	Distance
L1	S 08°50'29" W	20.20'
L2	N 08°55'51" E	39.80'



Owner/Developer Info:
 RAC ENTERPRISES
 RICK MORROW, DEVELOPER
 301 WEST MAIN STREET
 Hohenwald, TN 38462

Land Data:
 Zoning: C-2 (HIGHWAY COMMERCIAL)
 Area: 1.26 Ac. +/-

Floodplain Note:
 THIS SITE LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA COMMUNITY PANEL 47169C043C DATED SEPTEMBER 29, 2010.

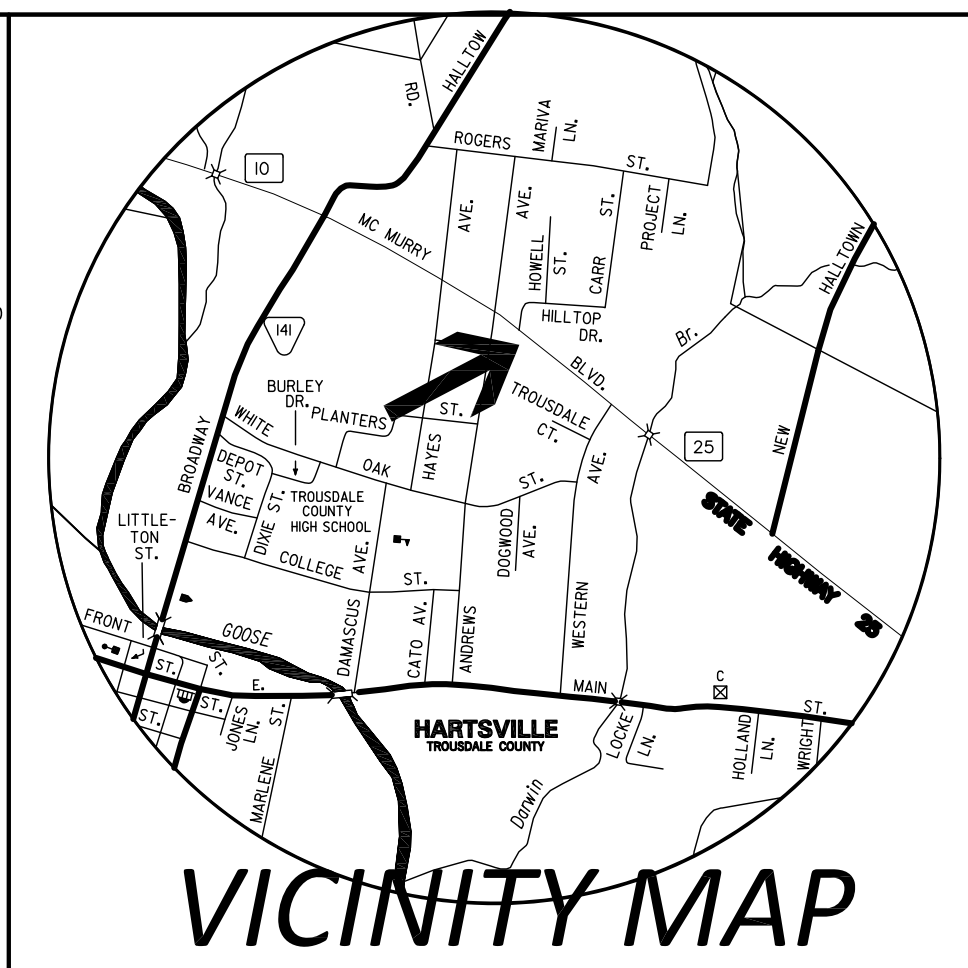
Total Floor Area:
 Proposed: Total 10,000 S.F.

Deed Reference:
 R.B. 133 PG. 139 R.O.T.C.T.
 MAP 19-N PARSE C-2011 & C-2012, T.A.O.T.C.T.

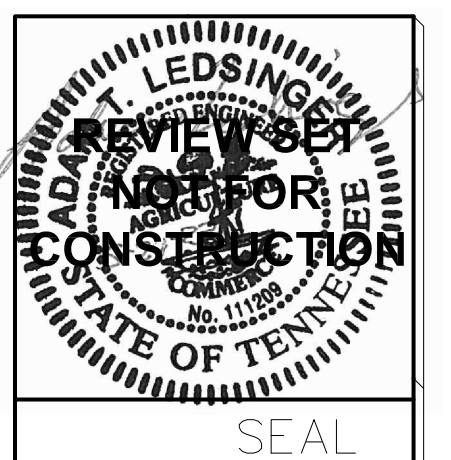
Yard Requirements:
 Front: 30'
 Side: 20'
 Rear: 15'

Intended Use:
 RETAIL

Parking:
 REQUIRED FOR RETAIL:
 1 SPACE PER 200 S.F.
 10,000 S.F.
 TOTAL SPACES REQUIRED: 50
 TOTAL SPACES PROVIDED: 45 (2 HANDICAP)



THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



MB CIVIL ENGINEERING, LLC
 P.O. BOX 601 769 TIMBER RIDGE DR. LEXINGTON, TN 38351
 VOICE: 731-265-6827 adm@mbcivil.com

**DOLLAR TREE
 HWY 25
 HARTSVILLE, TN**

PROJECT

REVISION DATES

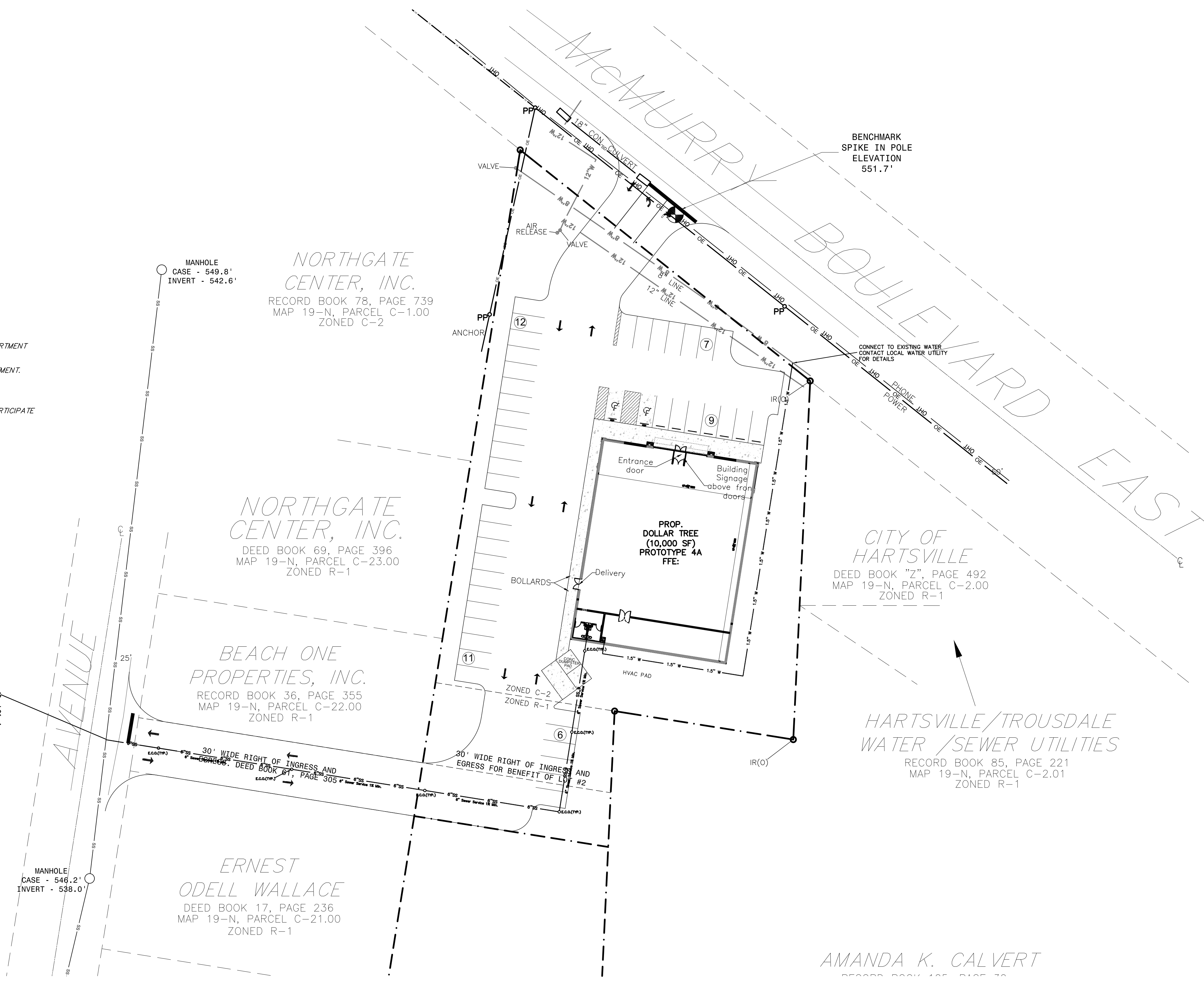
DATE
 MAY 24, 2023

SHEET
C-2.0 OF 10

JOB No.
 23008

GENERAL UTILITY NOTES

- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES, PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF THE INS/CONNECTIONS TO THEIR FACILITIES.
- ALL UNDERGROUND UTILITIES (WATER, SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS), SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE LOTS.
- THE CONTRACTOR SHALL PROVIDE A SUITABLE OFFICE NEAR THE SITE FOR HIS USE AND AT WHICH COPIES OF THE SPECIFICATIONS AND DRAWINGS SHALL BE KEPT. THE CONTRACTOR SHALL ALSO DESIGNATE TO THE OWNER A PERSON TO BE NOTIFIED IN CASE OF EMERGENCIES OTHER THAN DURING WORKING HOURS AND ON HOLIDAYS AND WEEKENDS.
- STREETS SHALL BE GRADED TO SUBGRADE BEFORE WATER LINES AND SANITARY SEWERS ARE INSTALLED.
- THE OWNER/DEVELOPER FOR BUDGET PURPOSES, SHOULD CHECK WITH THE LOCAL UTILITY DEPARTMENT FOR CONNECTION FEES WHICH MAY BE SUBSTANTIAL.
- CONTRACTORS FOR WATER AND SEWER WORK MUST BE APPROVED BY THE CITY UTILITY DEPARTMENT.
- IN TENNESSEE IT IS A REQUIREMENT PER THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS, PRIOR TO THEIR INTENDED EXCAVATION. A LIST OF THESE UTILITY OWNERS MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITY OWNERS WHO PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED TOLL FREE AT 811.



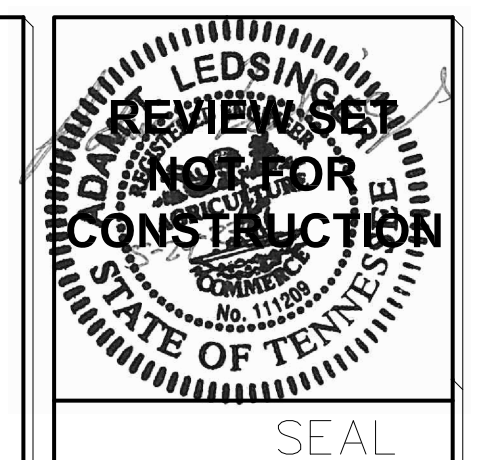
Bullet Legend	
	Detail #14 Sheet C2.0

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

N

0' 30' 60' 90'

UTILITY PLAN
SCALE 1"=30'



MB CIVIL
ENGINEERING, LLC

P.O. BOX 601 759 TIMBER RIDGE DR. LEXINGTON, TN 38551
VOICE: 731-265-6827 admin@mbcivil.net TENNESSEE C-# 8410

PROJECT		DOLLAR TREE HWY 25 HARTSVILLE, TN	
REVISION DATES			
DATE		MAY 24, 2023	
SHEET	C-3.0	OF	10
JOB No.		23008	

GENERAL EROSION CONTROL NOTES

1. ALL NEWLY CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, AND SEEDED, AND /OR SODDEN TO EFFECTIVELY CONTROL SOIL EROSION.
2. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
3. A COPY OF THE EROSION CONTROL PLAN MUST BE AVAILABLE ON SITE FOR THE DWPC INSPECTOR ON REQUEST. SEE SUGGESTED LOCATION ON PLAN.
4. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATION BEGINS, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REPLACED AT THE END OF THE WORK DAY, OR PRIOR TO RAINFALL EVENTS.
5. ALL CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY NO LESS THAN 72 HOURS APART AND SHALL MAINTAIN 50% OF ITS DESIGN CAPACITY AT ALL TIMES.
6. ALL EXCAVATING AND CLEARING SHALL BE COORDINATED TO PREVENT ANY SURFACE FROM REMAINING UNCOVERED FOR MORE THAN 14 DAYS, GRAVEL SHALL NOT BE CONSIDERED AS COVER.
7. ALL AREAS USED TO TEMPORARILY STORE TOPSOIL OR OTHER ERODABLE MATERIAL SHALL BE PROTECTED FROM EROSION ACCORDING TO THE DETAIL ON THIS PLAN. IF THESE AREAS ARE TO REMAIN IN PLACE FOR LONGER THAN 14 DAYS THEY SHOULD BE SEEDED AND MULCHED TO ESTABLISH GOOD GROUND COVER.
8. ALL DITCHES ON THE PROJECT SHOULD BE STABILIZED WITH SEED AND MULCH OR EROSION CONTROL MATTING AS SOON AS FINAL GRADING OPERATIONS HAVE CEASED.
9. AREAS OF DISTURBED SOILS MUST BE STABILIZED WITHIN 7 DAYS IF SLOPE IS 35% OR GREATER

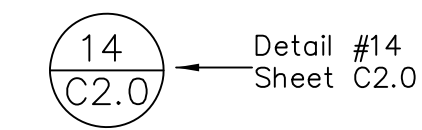
EROSION CONTROL NOTES

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXCESS SILT FROM SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT THE COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, ETC., PRIOR TO COMPLETION OF THIS PROJECT.
4. EROSION CONTROL SHALL BE PROVIDED FOR ALL CUT AND FILL OPERATIONS WITHIN THE LIMITS OF THE CONSTRUCTION SITE, THROUGHOUT THE CONSTRUCTION PERIOD TO PROVIDE THE SITE WITH THE MAXIMUM PROTECTION FROM EROSION AT ALL TIMES.
5. EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY GRADING ON-SITE AND ARE TO BE MAINTAINED IN PLACE UNTIL STABILIZATION OF ERODABLE SOILS HAS BEEN ACCOMPLISHED.

EPSC PHASING

1. INSTALL CONSTRUCTION ENTRANCE/EXIT.
2. INSTALL SILT FENCE @ DOWNSLOPE AREAS.
3. MUST BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF GRADING PERMIT.
4. COMMENCE GRADING OPERATIONS.

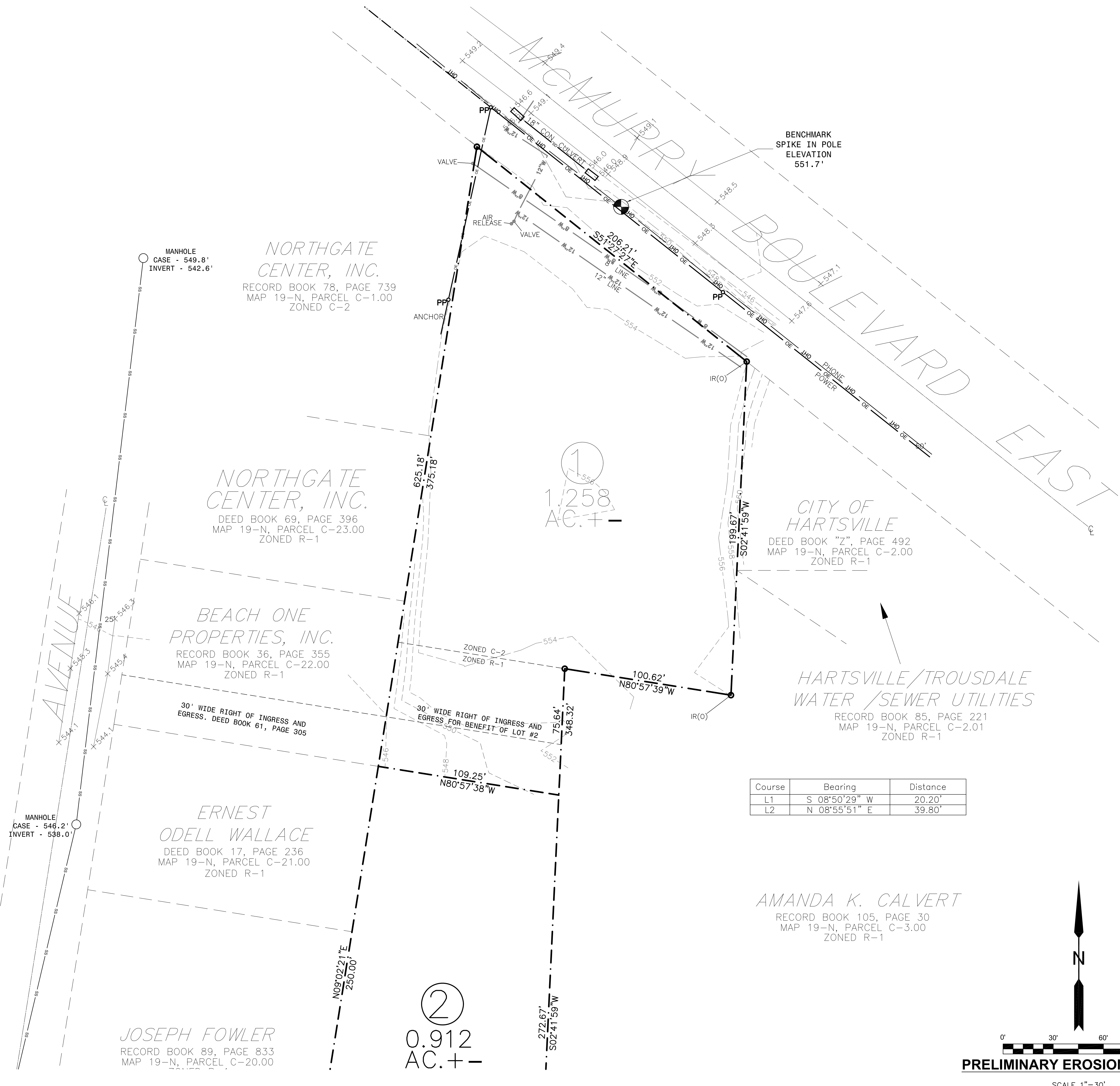
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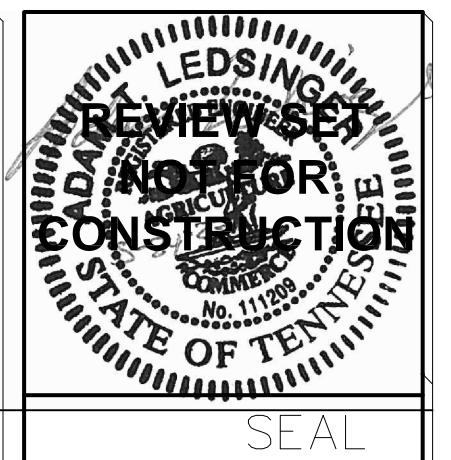
Grading and Erosion Control Legend

Existing Contour	--- 345 ---
Proposed Contour	— 345 —
Storm Structure	
Proposed Storm	— STM — STM —
Inlet Protection	□
Structure/Pipe ID	#1 (A)
Silt Fence	— SF — SF —
Wire backed silt fence	— SFB — SFB —
EX. SPOT ELEV.	479.6
PROP. SPOT ELEV.	74.8 <small>BC35.2-Bottom Curb TC35.3-top curb</small>
SEDIMENT TUBE	—
CHECK DAM	—

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



Course	Bearing	Distance
L1	S 08°50'29" W	20.20'
L2	N 08°55'51" E	39.80'



MB CIVIL ENGINEERING, LLC
 P.O. BOX 601, 759 TIMBER RIDGE DR., LEXINGTON, TN 38351
 VOICE: 731-255-6827
 amanda@mbcivil.com

DOLLAR TREE HWY 25 HARTSVILLE, TN

PROJECT

REVISION DATES

DATE: MAY 24, 2023

SHEET: C-4.0 OF 10

JOB No. 23008

PRELIMINARY EROSION CONTROL

SCALE 1"=30'

GRADING AND DRAINAGE NOTES

1. THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS UNDERGROUND UTILITIES, DEVICES, OR STRUCTURES), SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
2. THE CONTRACTOR SHALL CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE SMOOTH FIT AND CONTINUOUS GRADE.
3. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES AND ALL UTILITIES PRIOR TO CONSTRUCTION.
4. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATION
5. ANY GRADED OR DISTURBED AREAS SHALL HAVE 4 INCHES OF TOPSOIL, SEED, MULCH, FERTILIZER AND WATER APPLIED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THE RESTORATION SHALL CLOSELY FOLLOW CONSTRUCTION.
6. THE EXISTING SOIL MATERIAL HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OR DEVELOPER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
7. A SEPARATE R.O.W. PERMIT ISSUED BY THE THE CITY TDOT WILL BE REQUIRED FOR EXCAVATION AND CONSTRUCTION IN THE PUBLIC R.O.W.
8. HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED AND SLOPED IN ACCORDANCE WITH ALL PROVISIONS OF THE A.D.A.
9. IN TENNESSEE IT IS A REQUIREMENT PER THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOW UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS - PRIOR TO THEIR INTENDED EXCAVATION. A LIST OF THESE UTILITY OWNERS MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITY OWNERS WHO PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED TOLL FREE AT 811.

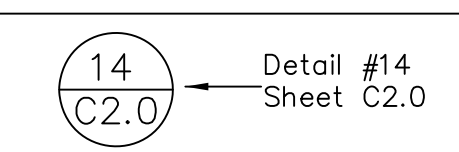
GENERAL EROSION CONTROL NOTES

1. ALL NEWLY CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, AND SEEDED, AND /OR SODDEN TO EFFECTIVELY CONTROL SOIL EROSION.
2. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
3. A COPY OF THE EROSION CONTROL PLAN MUST BE AVAILABLE ON SITE FOR THE DWPC INSPECTOR ON REQUEST. SEE SUGGESTED LOCATION ON PLAN.
4. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATION BEGINS, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REPLACED AT THE END OF THE WORK DAY, OR PRIOR TO RAINFALL EVENTS.
5. ALL CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY NO LESS THAN 72 HOURS APART AND SHALL MAINTAIN 50% OF ITS DESIGN CAPACITY AT ALL TIMES.
6. ALL EXCAVATING AND CLEARING SHALL BE COORDINATED TO PREVENT ANY SURFACE FROM REMAINING UNCOVERED FOR MORE THAN 14 DAYS, GRAVEL SHALL NOT BE CONSIDERED AS COVER.
7. ALL AREAS USED TO TEMPORARILY STORE TOPSOIL OR OTHER ERODABLE MATERIAL SHALL BE PROTECTED FROM EROSION ACCORDING TO THE DETAIL ON THIS PLAN. IF THESE AREAS ARE TO REMAIN IN PLACE FOR LONGER THAN 14 DAYS THEY SHOULD BE SEEDED AND MULCHED TO ESTABLISH GOOD GROUND COVER.
8. ALL DITCHES ON THE PROJECT SHOULD BE STABILIZED WITH SEED AND MULCH OR EROSION CONTROL MATTING AS SOON AS FINAL GRADING OPERATIONS HAVE CEASED.
9. AREAS OF DISTURBED SOILS MUST BE STABILIZED WITHIN 7 DAYS IF SLOPE IS 35% OR GREATER

EROSION CONTROL NOTES

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXCESS SILT FROM SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT THE COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, ETC., PRIOR TO COMPLETION OF THIS PROJECT.
4. EROSION CONTROL SHALL BE PROVIDED FOR ALL CUT AND FILL OPERATIONS WITHIN THE LIMITS OF THE CONSTRUCTION SITE, THROUGHOUT THE CONSTRUCTION PERIOD TO PROVIDE THE SITE WITH THE MAXIMUM PROTECTION FROM EROSION AT ALL TIMES.
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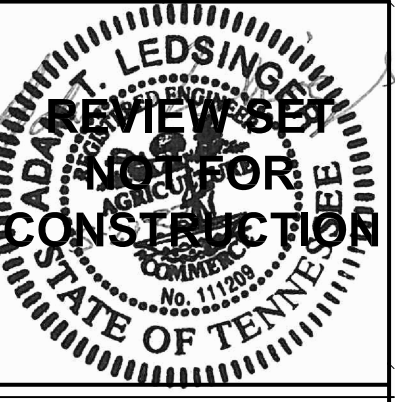
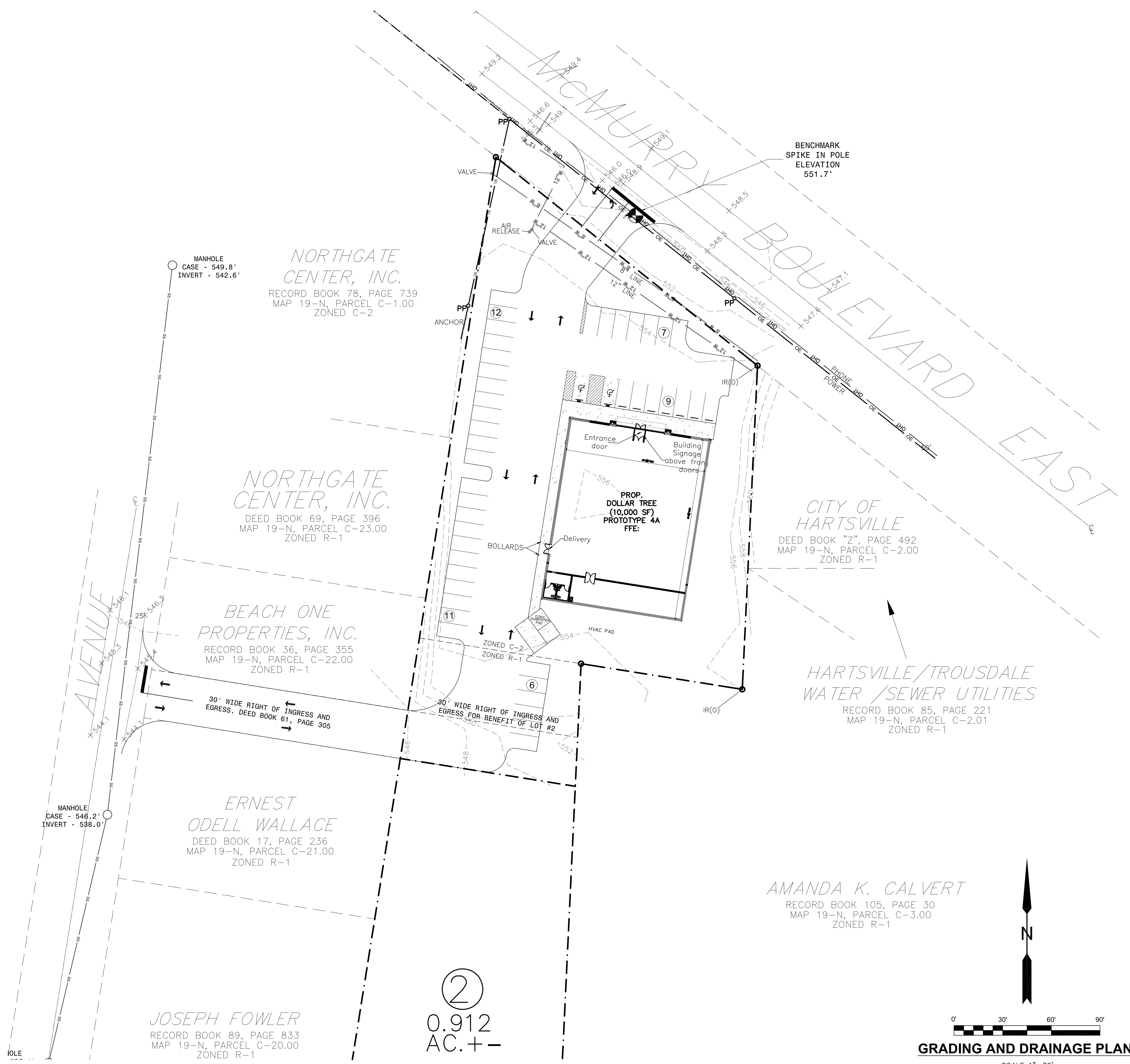
Bullet Legend



Grading and Erosion Control Legend

Existing Contour	--- 345 ---
Proposed Contour	— 345 —
Storm Structure	
Proposed Storm	— STM — STM —
Inlet Protection	
Structure/Pipe ID	#1
Silt Fence	— SF — SF —
Wire backed silt fence	— SFB — SFB —
EX. SPOT ELEV.	× 479.6
PROP. SPOT ELEV.	+74.8
SEDIMENT TUBE	
CHECK DAM	

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DOLLAR TREE HWY 25 HARTSVILLE, TN

PROJECT: _____

REVISION DATES: _____

DATE: MAY 24, 2023

SHEET: C-4.1 OF 10

JOB No. 23008

GRADING AND DRAINAGE PLAN

SCALE 1"=30'

GRADING AND DRAINAGE NOTES

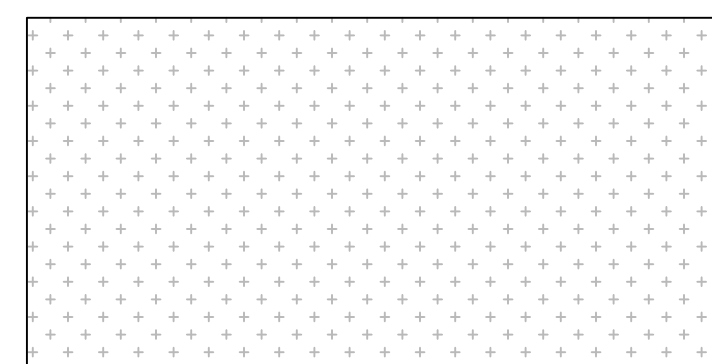
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EROSION CONTROL NOTES

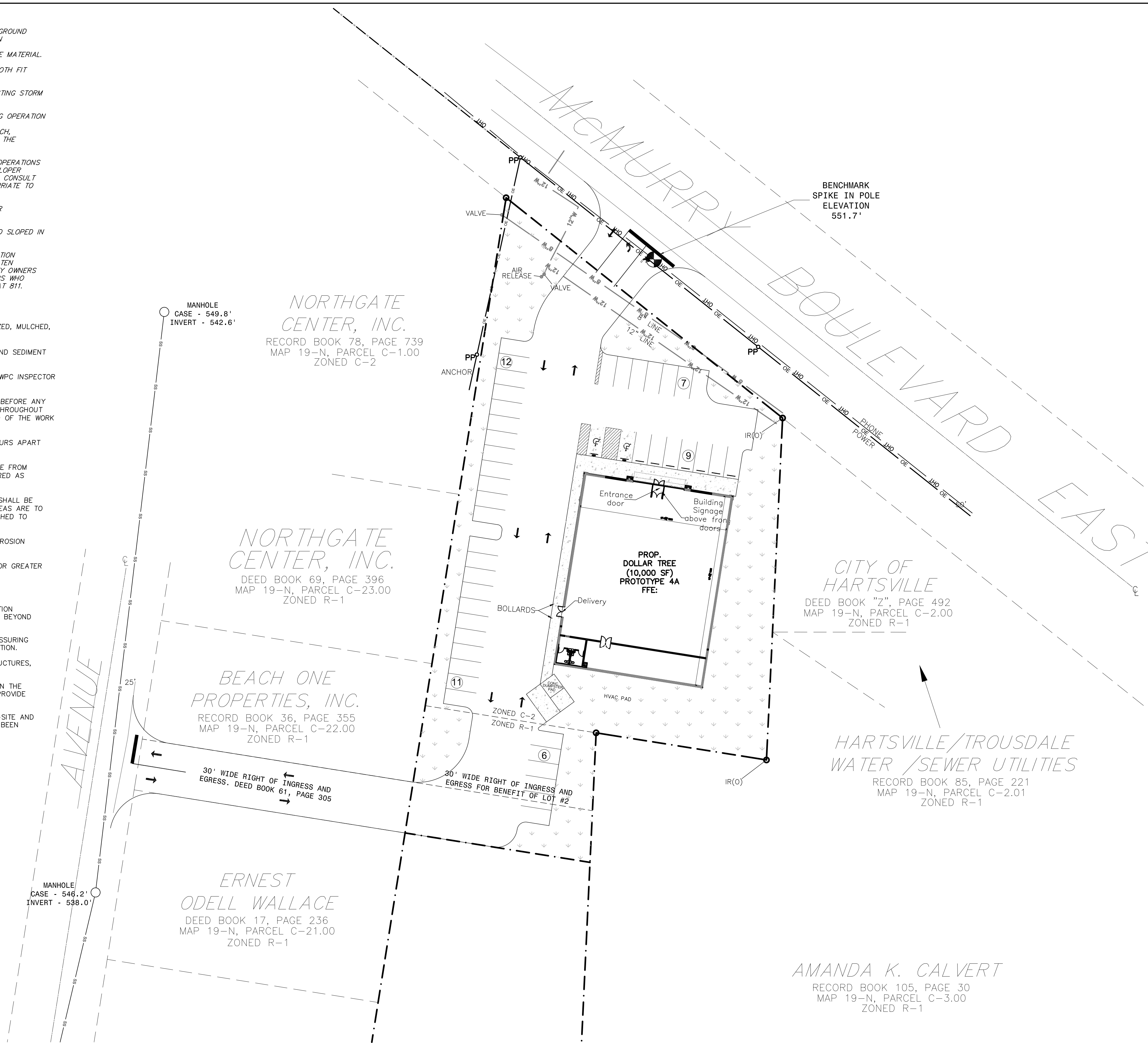
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AREA TO BE STABILIZED WITH SOD

MANHOLE
CASE - 546.2'
INVERT - 538.0'

MANHOLE
CASE - 549.8'
INVERT - 542.6'



BENCHMARK
SPIKE IN POLE
ELEVATION
551.7'

MANHOLE
CASE - 546.2'
INVERT - 538.0'

MANHOLE
CASE - 549.8'
INVERT - 542.6'

**NORTHGATE
CENTER, INC.**
RECORD BOOK 78, PAGE 739
MAP 19-N, PARCEL C-1.00
ZONED C-2

**NORTHGATE
CENTER, INC.**
DEED BOOK 69, PAGE 396
MAP 19-N, PARCEL C-23.00
ZONED R-1

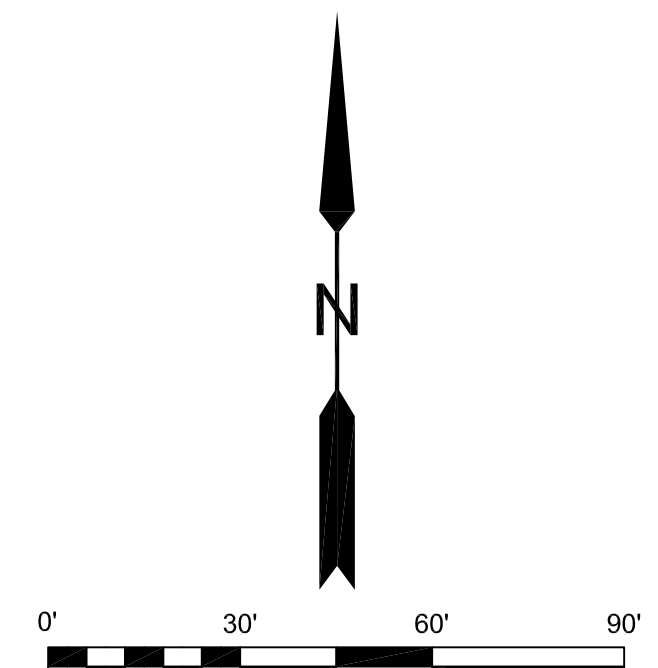
**BEACH ONE
PROPERTIES, INC.**
RECORD BOOK 36, PAGE 355
MAP 19-N, PARCEL C-22.00
ZONED R-1

**ERNEST
ODELL WALLACE**
DEED BOOK 17, PAGE 236
MAP 19-N, PARCEL C-21.00
ZONED R-1

**CITY OF
HARTSVILLE**
DEED BOOK "Z", PAGE 492
MAP 19-N, PARCEL C-2.00
ZONED R-1

**HARTSVILLE/TROUSDALE
WATER /SEWER UTILITIES**
RECORD BOOK 85, PAGE 221
MAP 19-N, PARCEL C-2.01
ZONED R-1

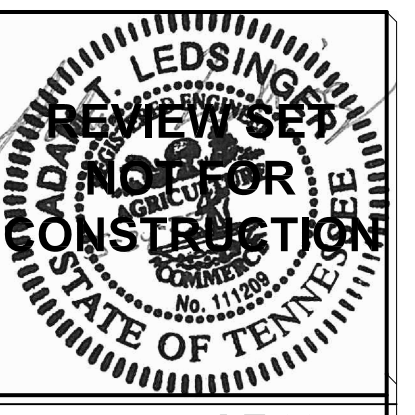
AMANDA K. CALVERT
RECORD BOOK 105, PAGE 30
MAP 19-N, PARCEL C-3.00
ZONED R-1



PHASE II ESPC/FINAL STABILIZATION

SCALE 1"=30'

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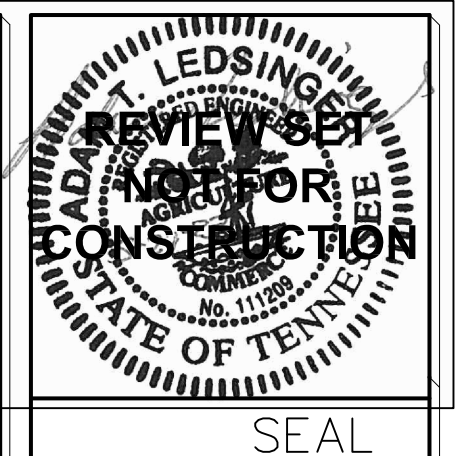
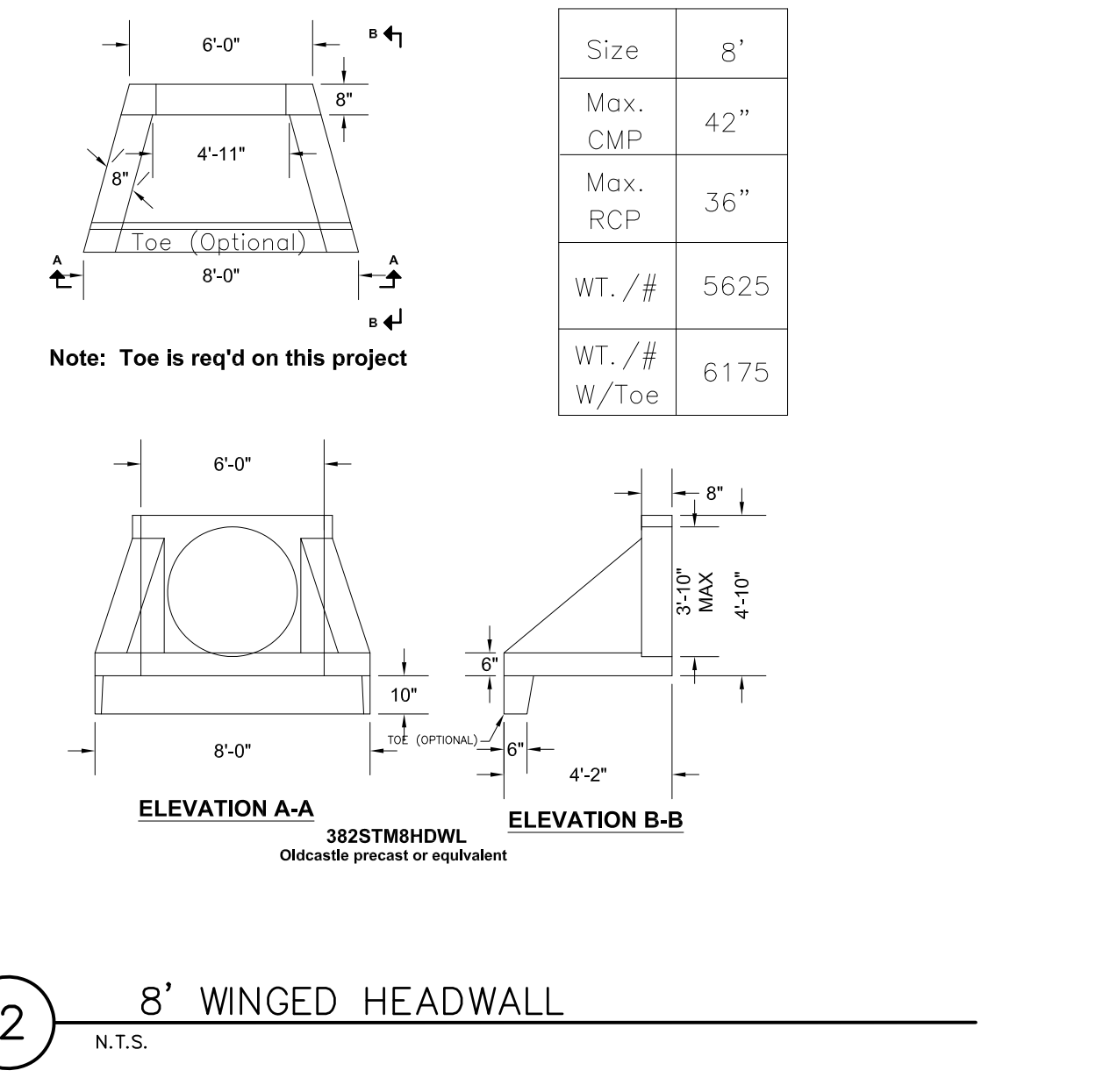
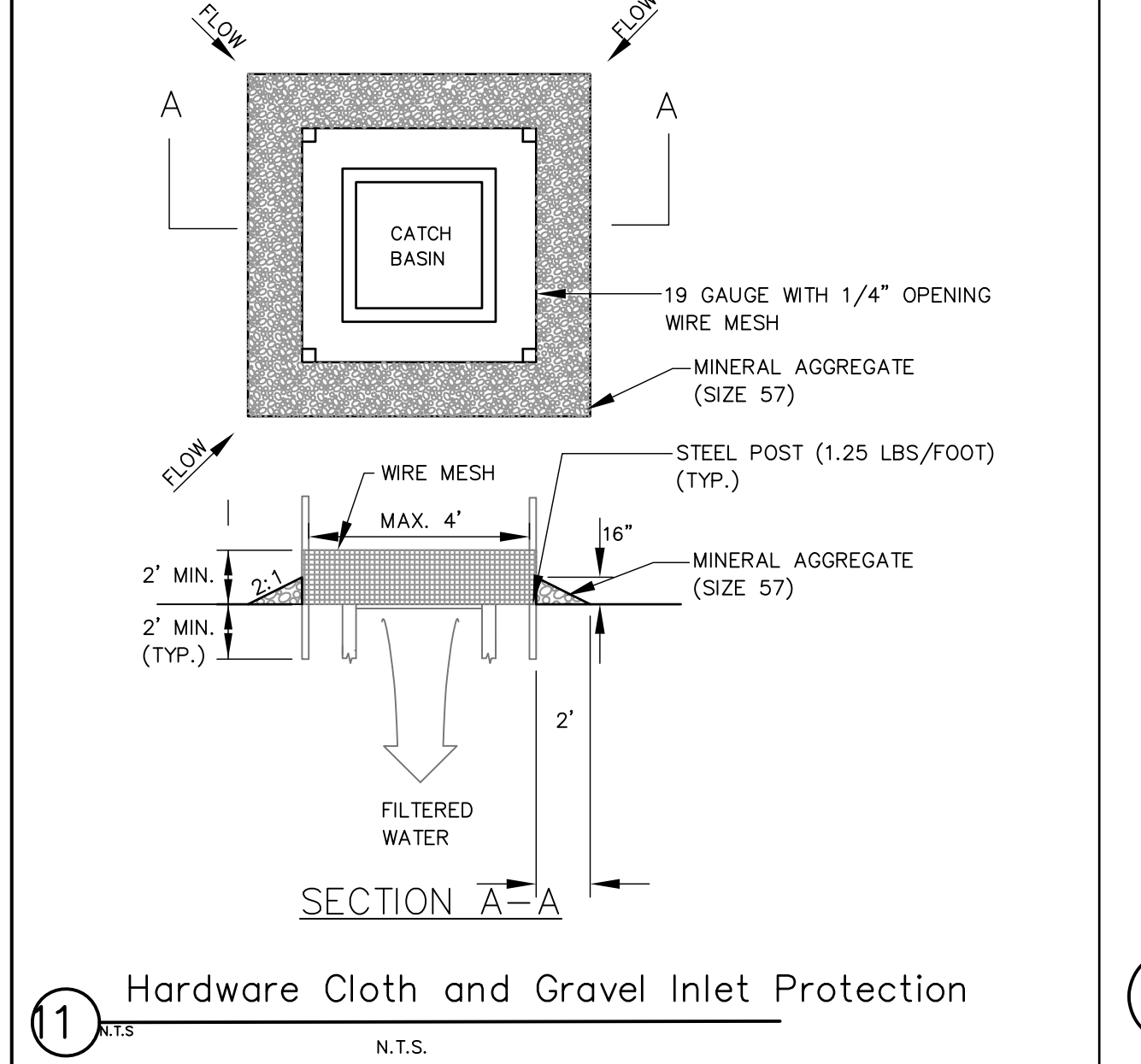
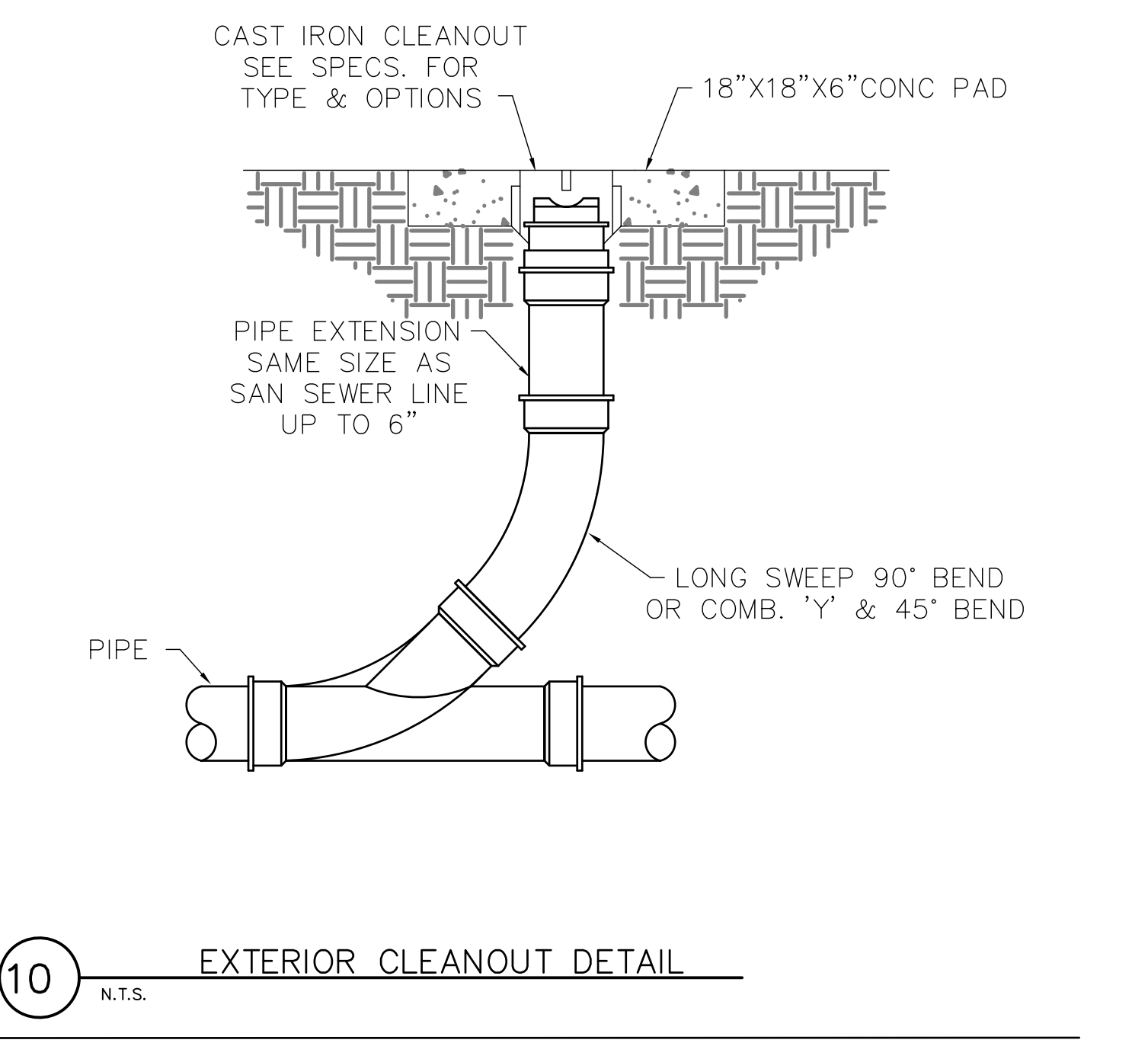
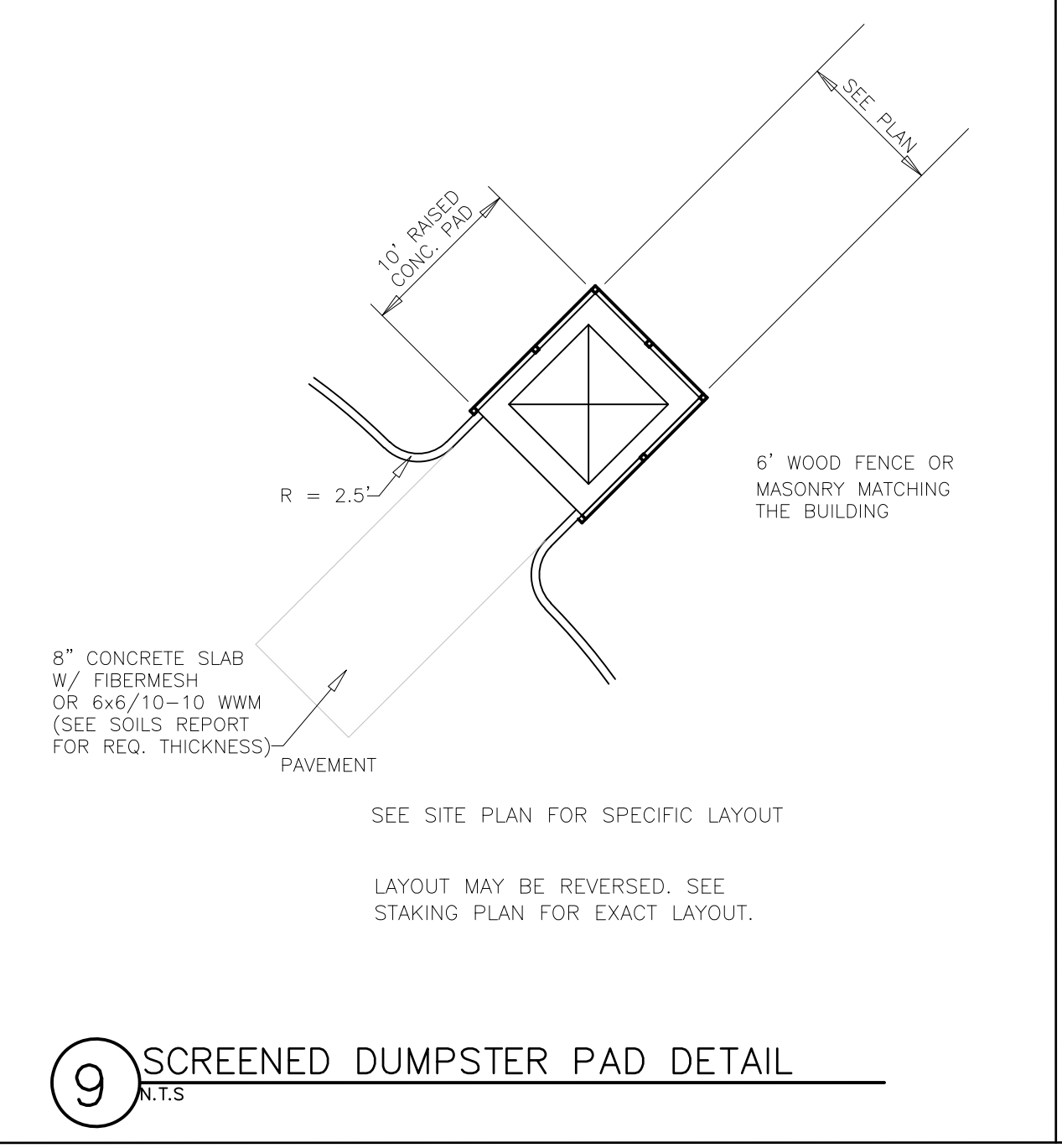
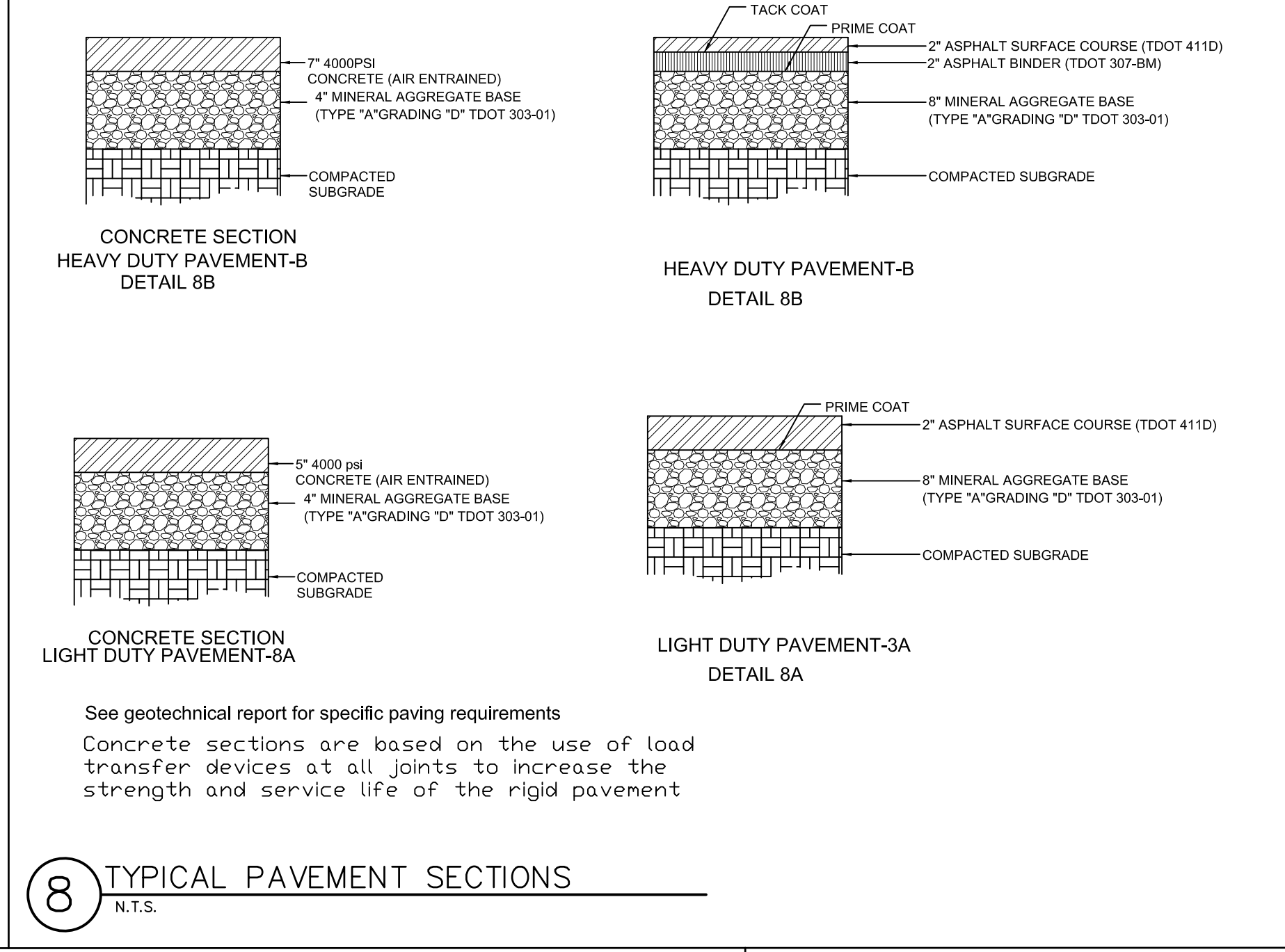
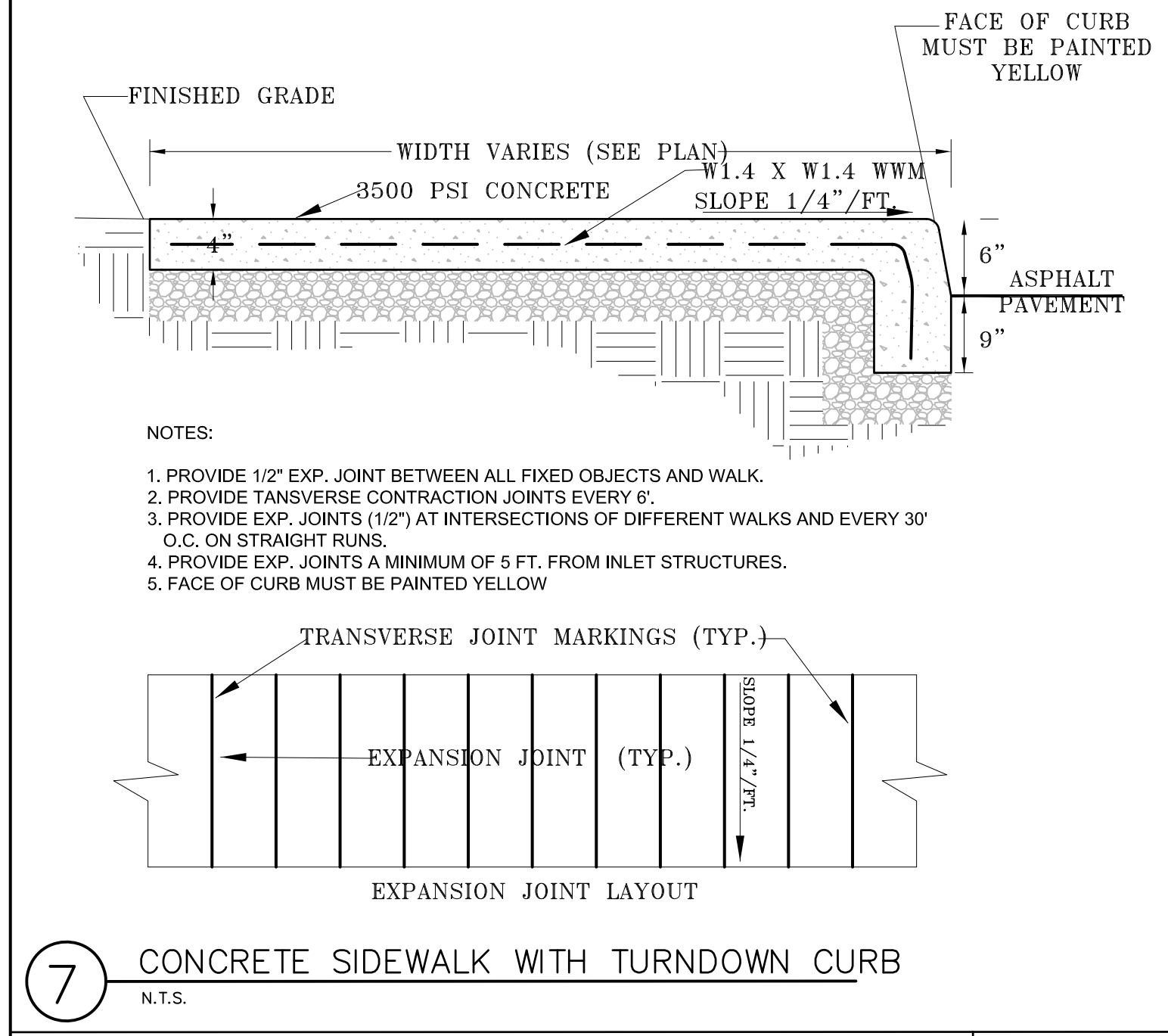
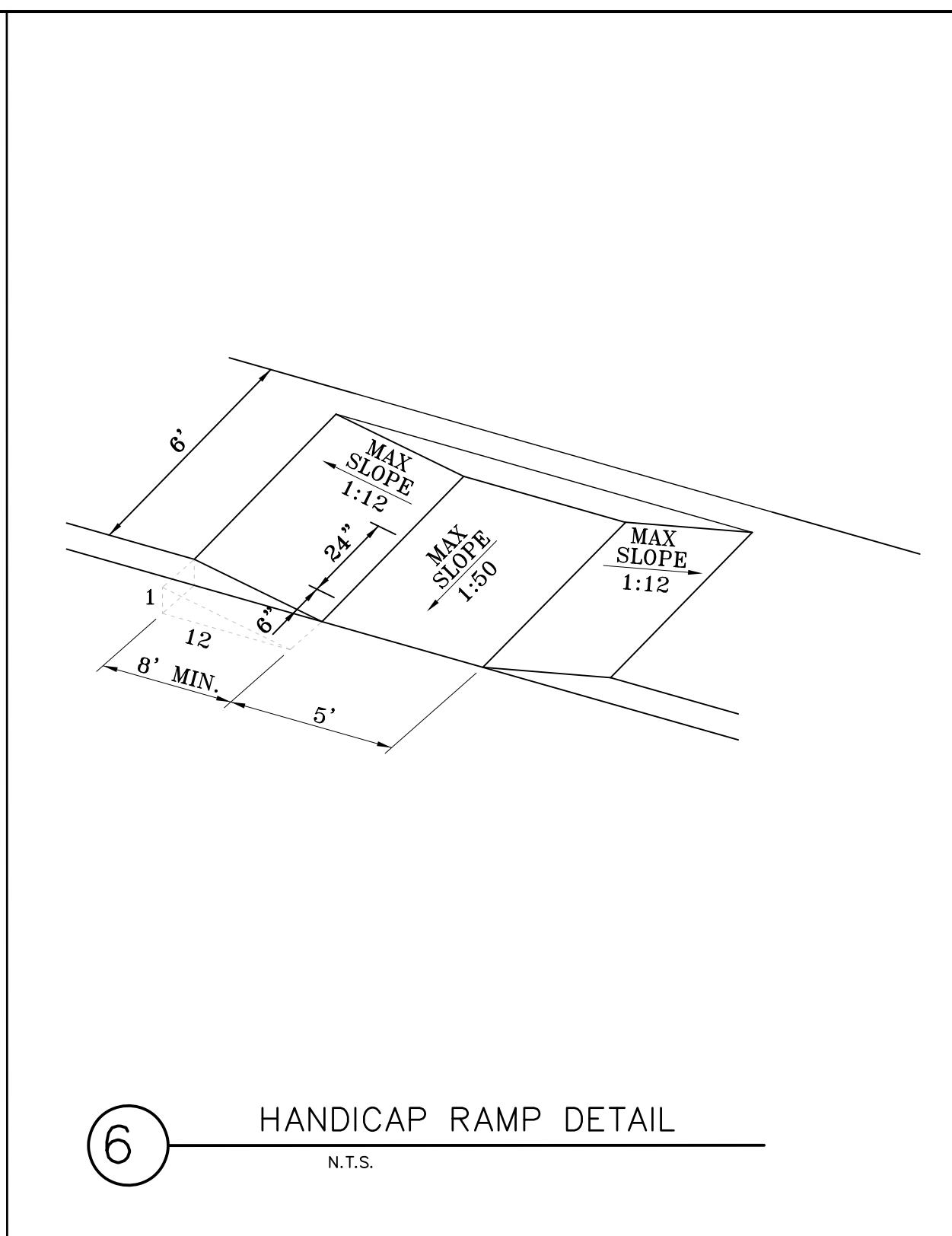
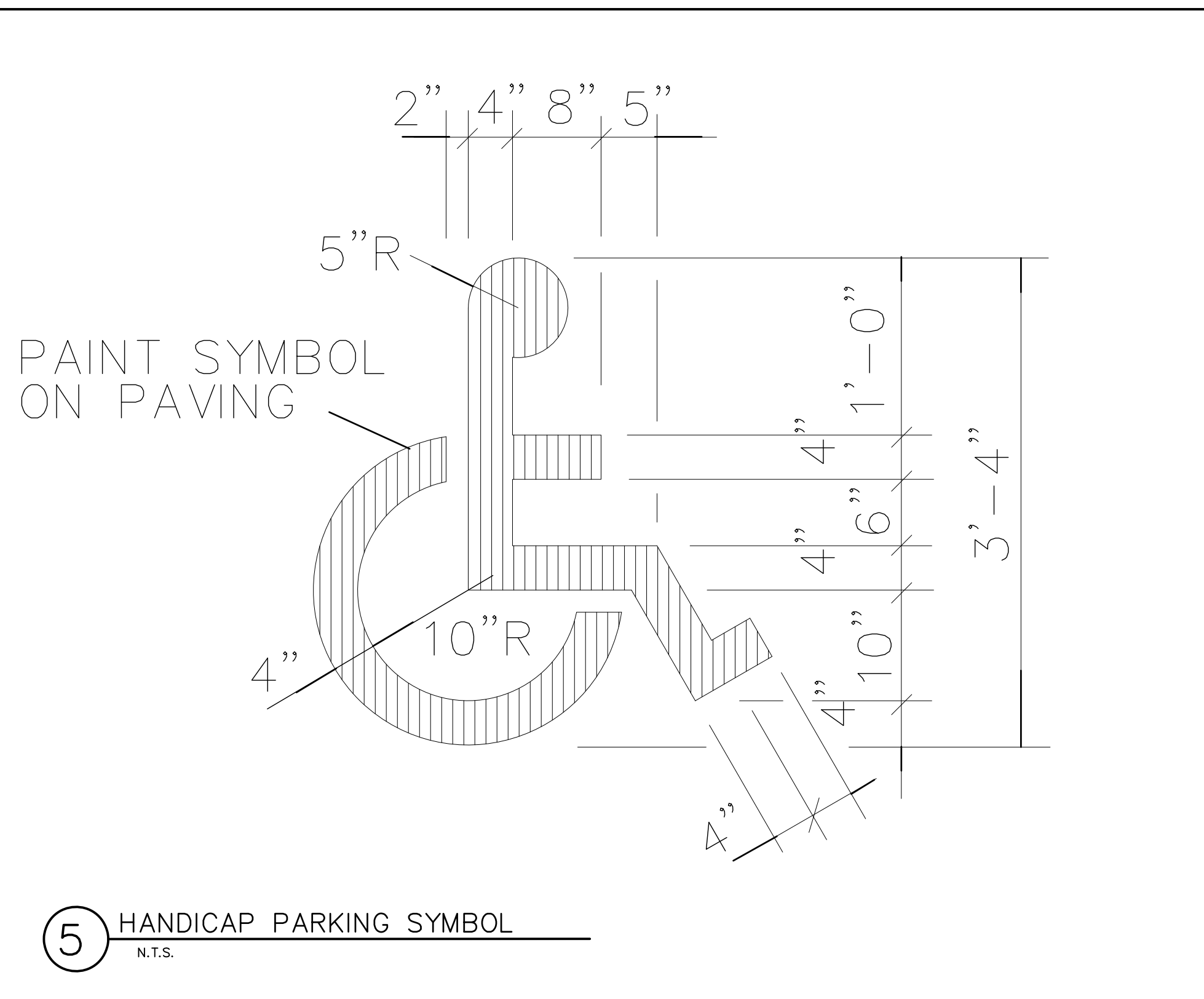
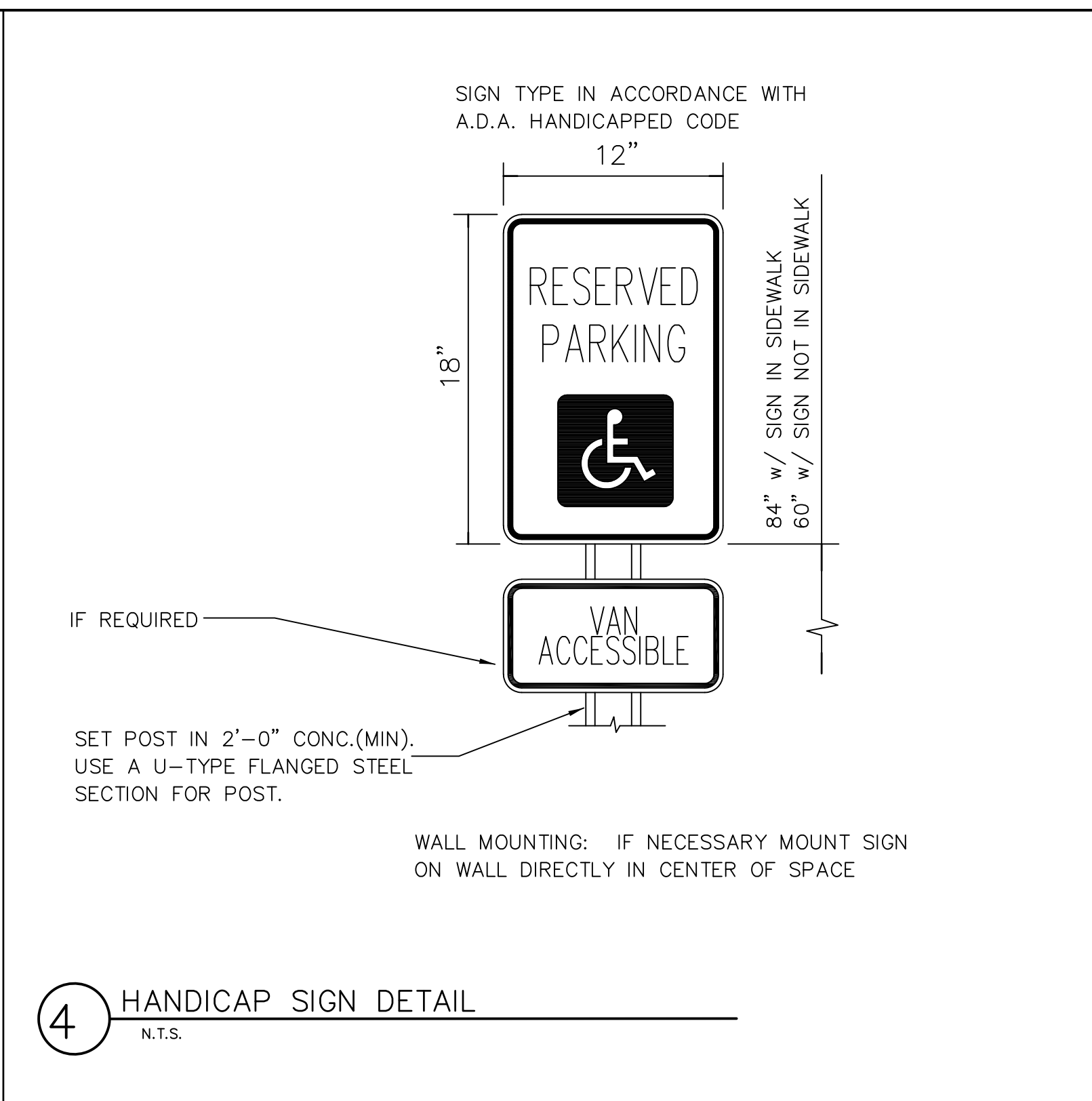
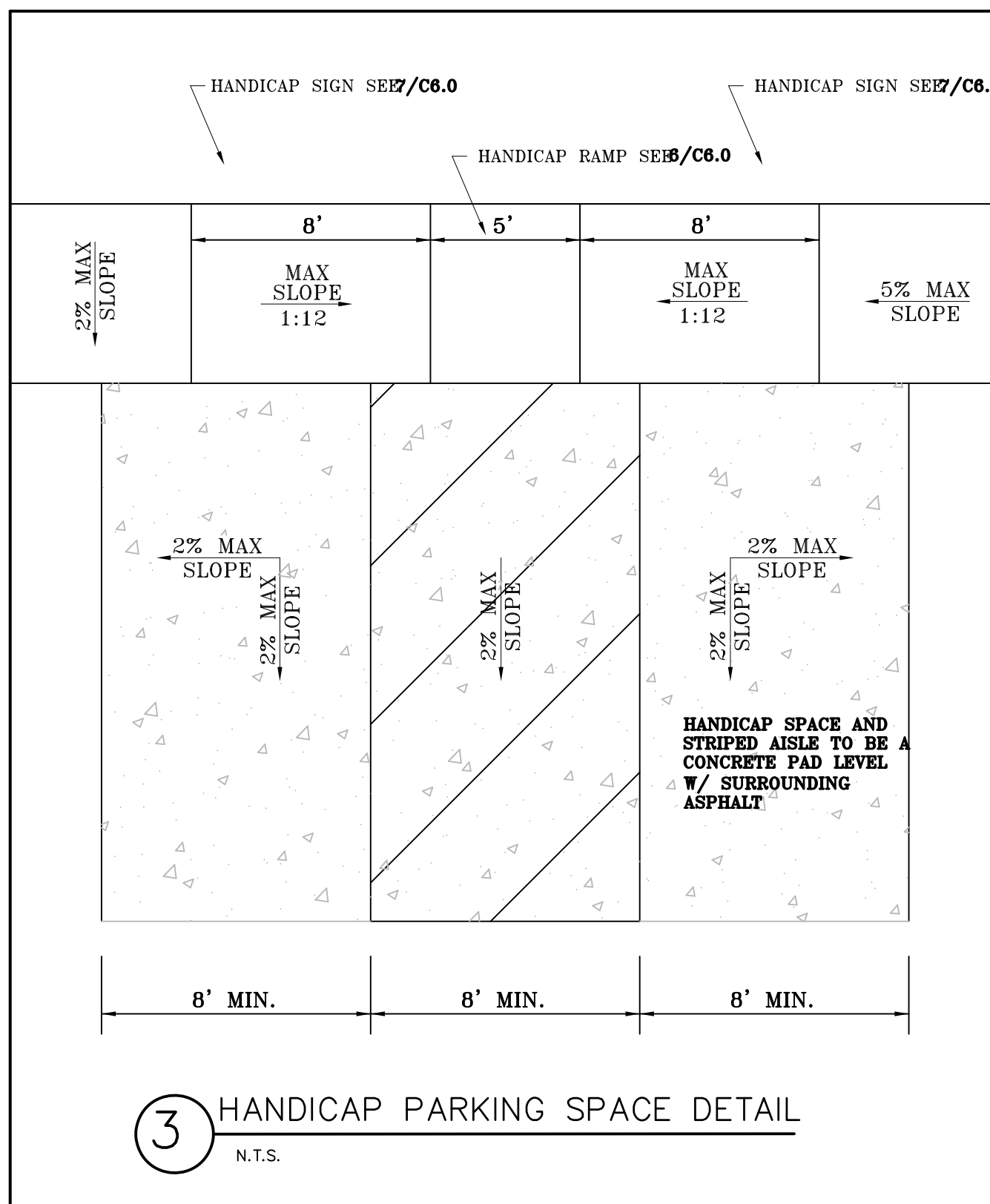
SEAL



P.O. BOX 601 759 TIMBER RIDGE DR. LEWINGTON, TN 38351
adam@mbocivil.net
VOICE: 731-265-6827

**DOLLAR TREE
HWY 25
HARTSVILLE, TN**

PROJECT	
REVISION DATES	
DATE	MAY 24, 2023
SHEET	C-4.2 OF 10
JOB No.	23008



MB CIVIL
ENGINEERING, LLC

LEXINGTON, TN 38551
759 TIMBER RIDGE DR.
VOICE: 731-265-6827
adam@mbcivil.net
TENNESSEE CAP 8410

**DOLLAR TREE
HWY 25
HARTSVILLE, TN**

PROJECT

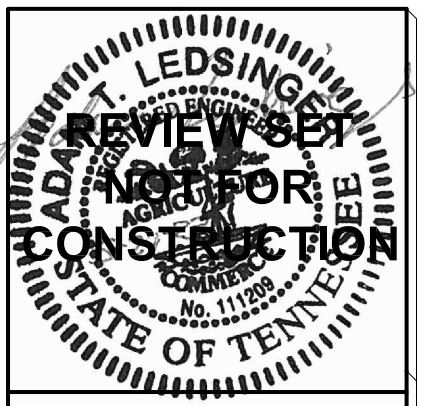
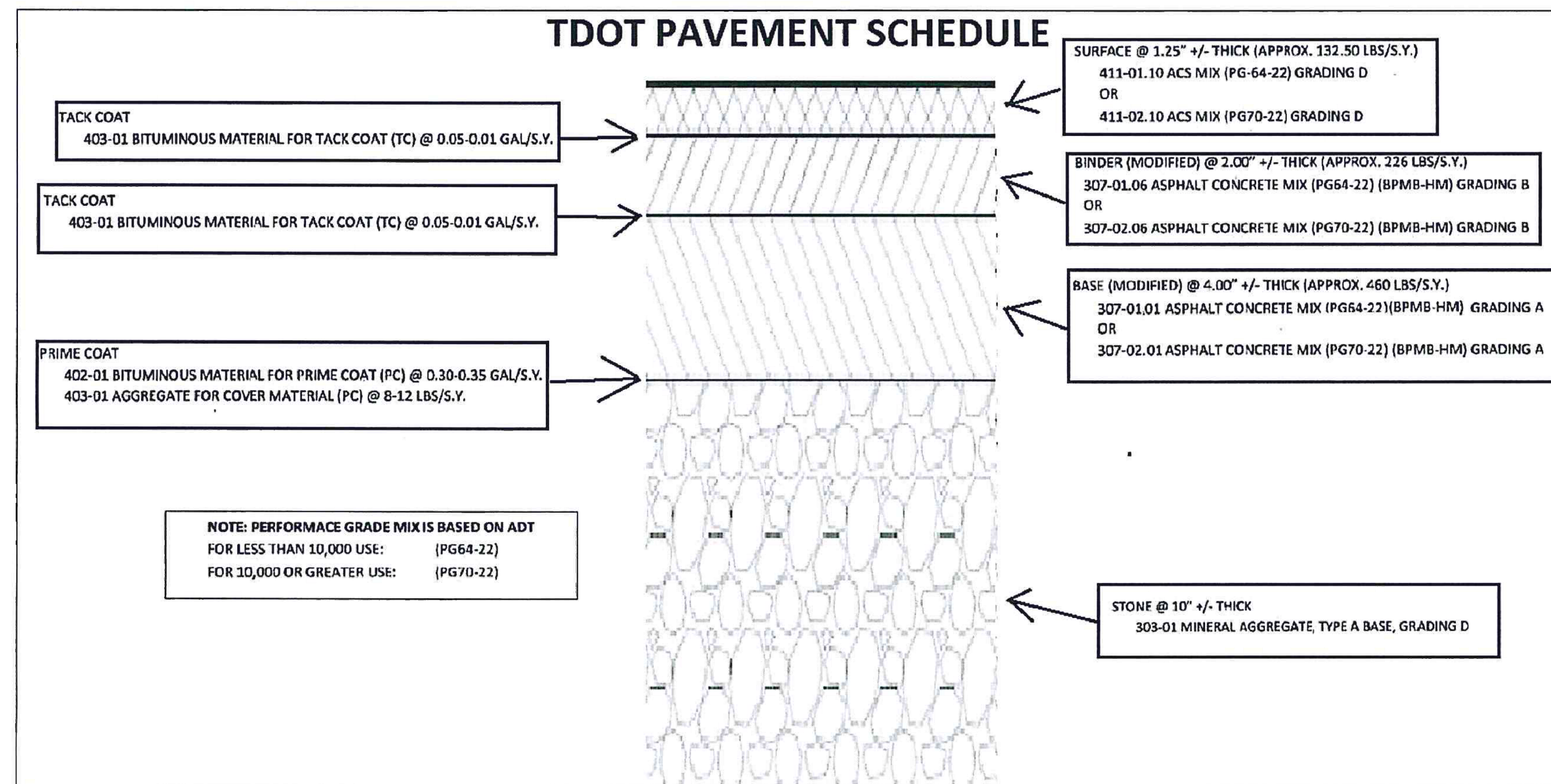
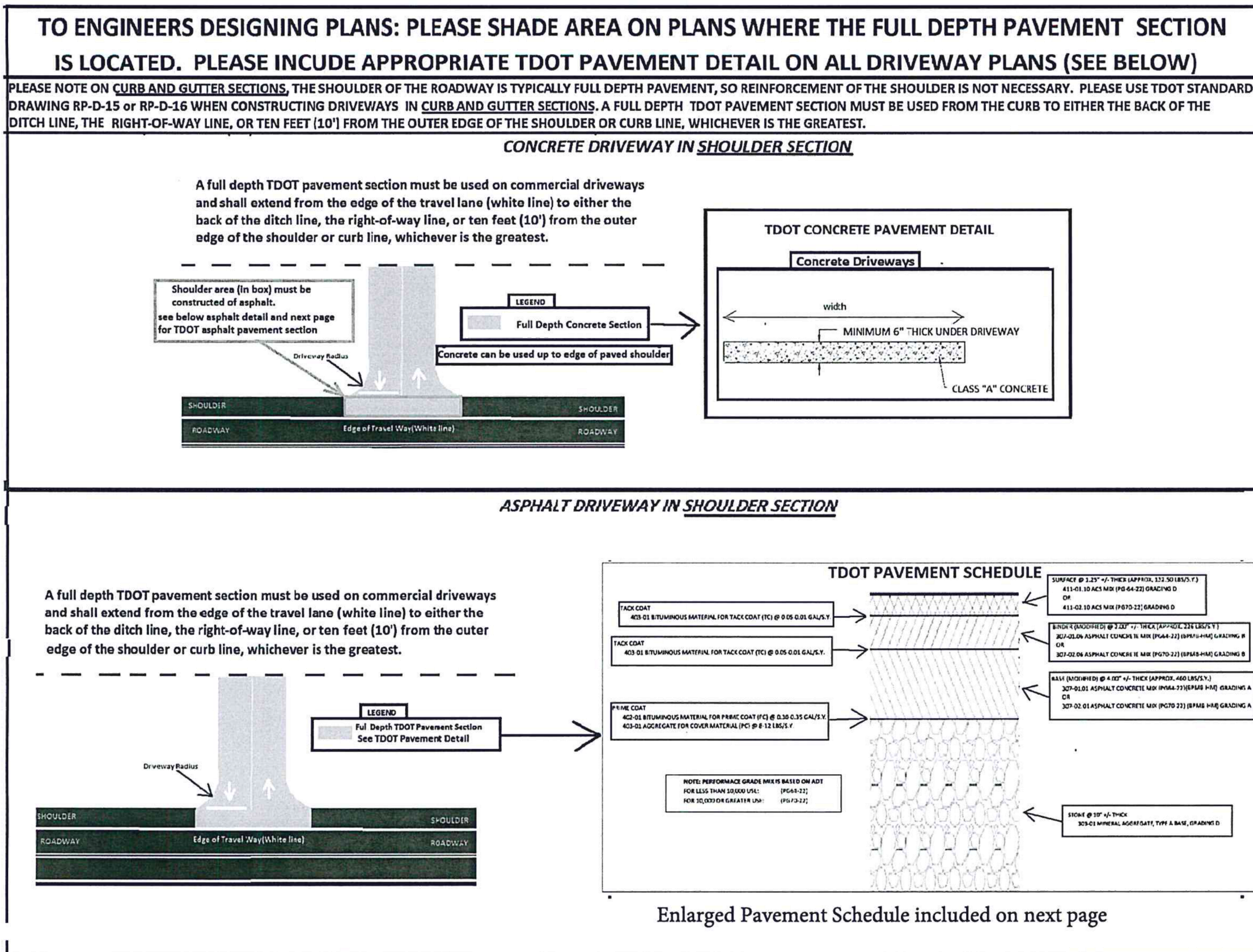
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SHEET
C-5.0 OF 10

JOB No.
23008

DETAILS
NO SCALE



SEAL



**DOLLAR TREE
 HWY 25
 HARTSVILLE, TN**

PROJECT

REVISION DATES

DATE

MAY 24, 2023

SHEET
 C-5.2

OF

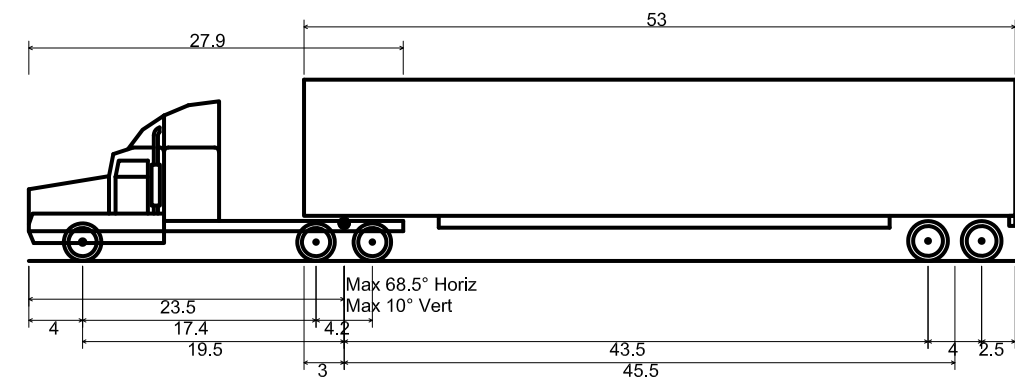
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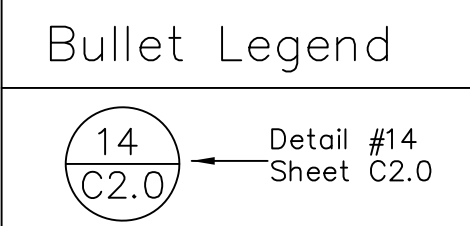
23008

GENERAL CONSTRUCTION NOTES

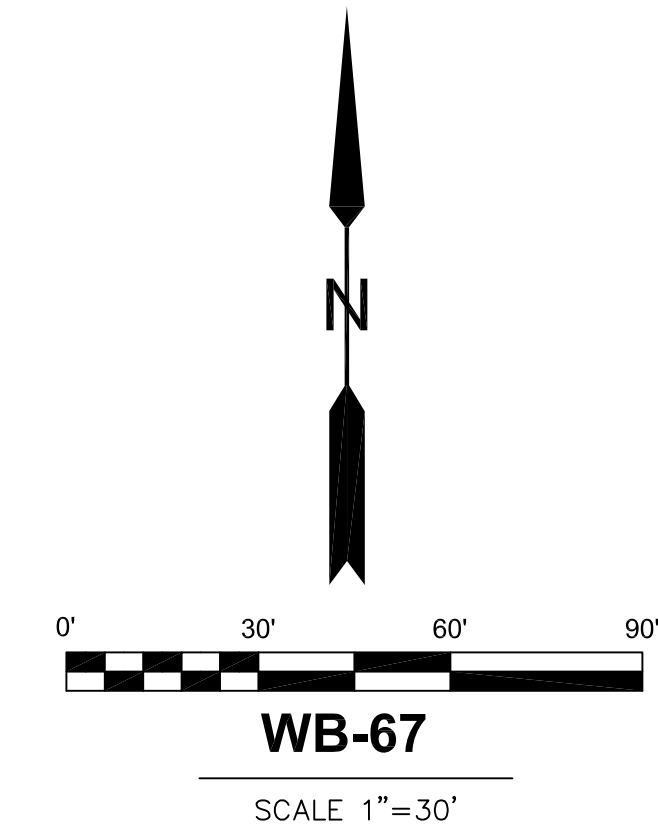
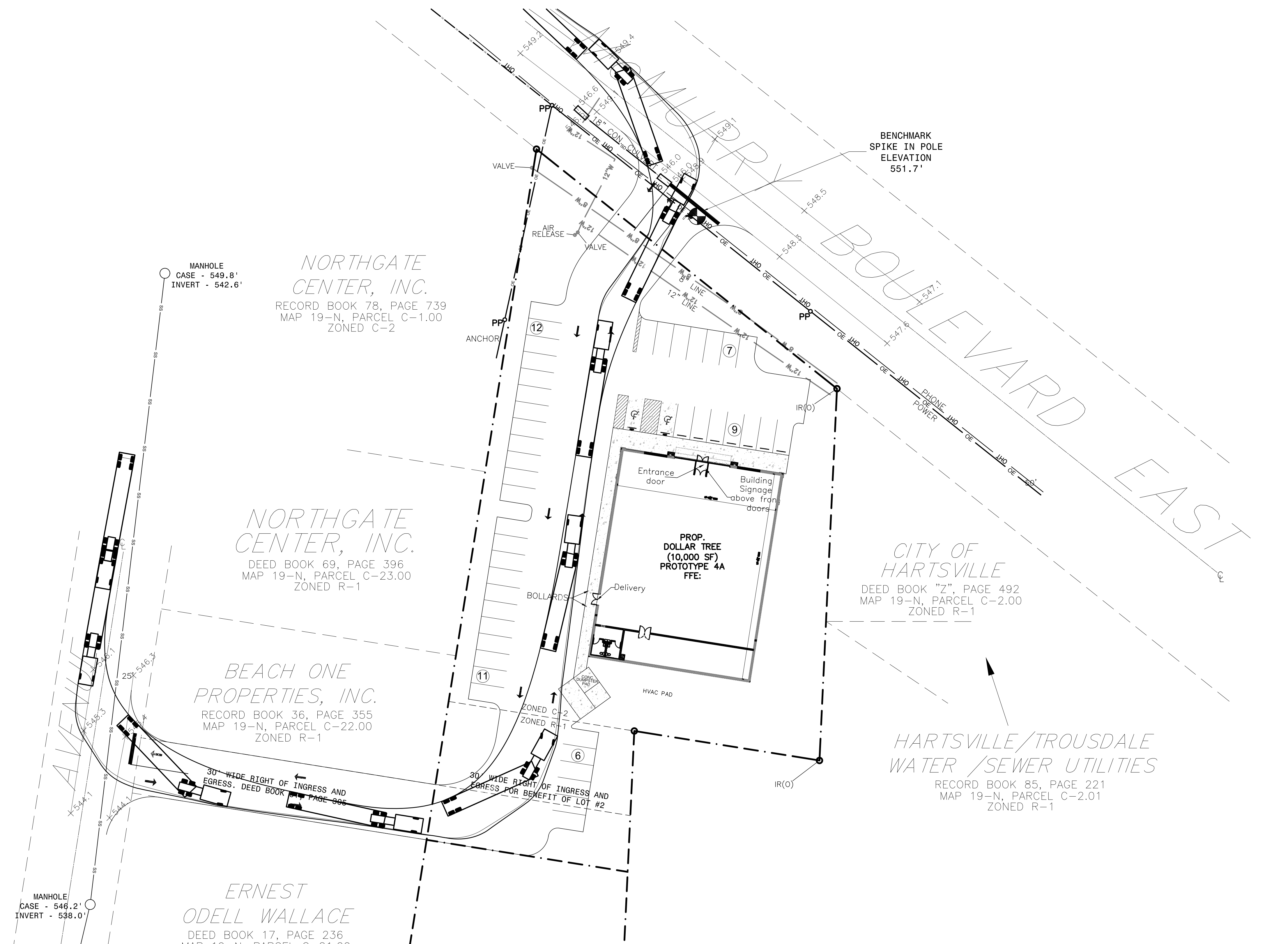
1. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS BEFORE BEGINNING CONSTRUCTION.
2. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY CONSTRUCTION INSPECTION OFFICE & ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
4. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES PRIOR TO INITIATING CONSTRUCTION. SEE SPECIFIC NOTES, DRAWINGS, & DETAILS FOR MEASURES REQUIRED.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION.
6. ANY EXISTING ASPHALT PAVEMENT, PRIVACY FENCES AND WALLS, CONCRETE CURBS, OR SIDEWALKS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY TRENCH STABILIZATION REQUIRED BY OSHA CONSTRUCTION STANDARD FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION RELATED SURVEYING, INCLUDING ALL LAYOUT AND GRADE STAKING. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR GEOTECHNICAL TESTING.
9. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
10. ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% PROCTOR DENSITY (ASTM D-98) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED EIGHT (8) INCHES OF COMPACTED THICKNESS.
11. ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED FERTILIZED AND OR SODDEN AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
12. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES CALL TN ONE CALL AT 811.
13. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
14. EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ON THIS PLAN ARE TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY FROM L.I. SMITH AND ASSOCIATES.



WB-67 - Interstate Semi-Trailer
 Overall Length 73.50ft
 Overall Width 8.500ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40°



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Owner/Developer Info:
 R&C ENTERPRISES
 RICK MORROW, DEVELOPER
 901 WEST MAIN STREET
 HOHENWALD, TN 38462

Land Data:
 Zoning: C-2 (HIGHWAY COMMERCIAL)
 Area: 1.28 Ac. +/-

Floodplain Note:
 THIS SITE LIES WITHIN ZONE X. AREA OF MINIMAL FLOOD HAZARD. PER FEMA COMMUNITY PANEL 47169C043C DATED SEPTEMBER 28, 2010.

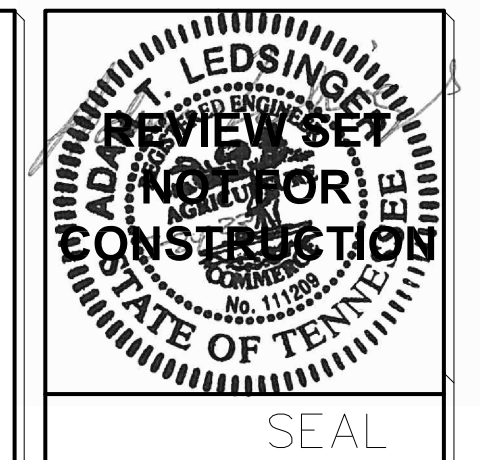
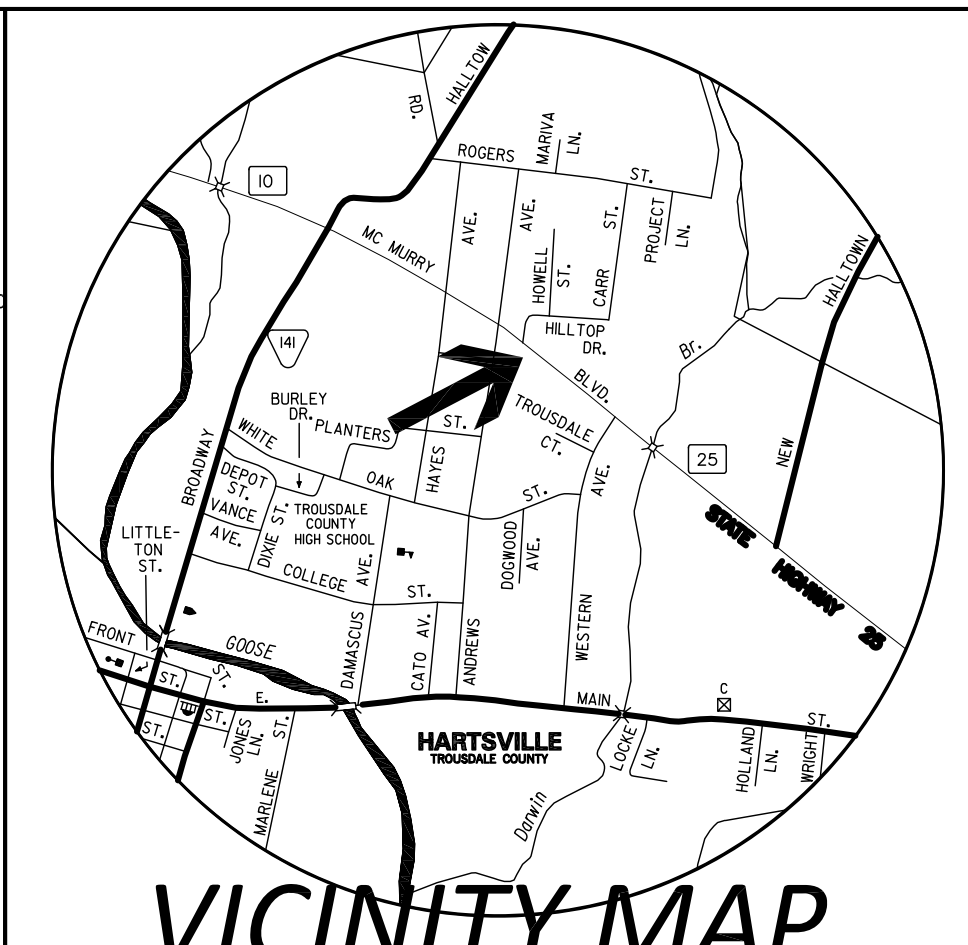
Total Floor Area:
 Proposed: Total 10,000 S.F.

Deed Reference:
 R.B. 133 PG. 138, R.O.T.C.T.
 MAP 19-N, PAR. C-2011 & C-2022, T.A.O.T.C.T.

Yard Requirements:
 Front: 30'
 Side: 20'
 Rear: 15'

Intended Use:
 RETAIL

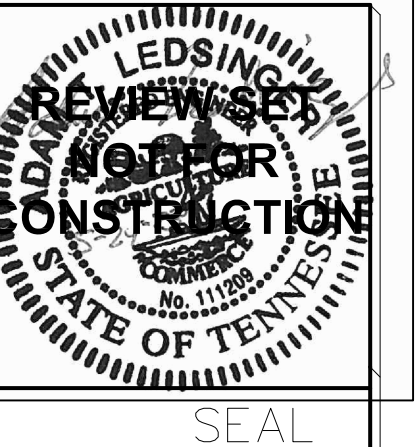
Parking:
 REQUIRED FOR RETAIL:
 1 SPACE PER 200 S.F.
 10,000 S.F.
 TOTAL SPACES REQUIRED: 50
 TOTAL SPACES PROVIDED: 45 (2 HANDICAP)



MB CIVIL
 ENGINEERING, LLC
 P.O. BOX 601 759 TIMBER RIDGE DR. LEWINGTON, TN 38351
 VOICE: 731-265-6827
 email: mledinger@mbcivil.net

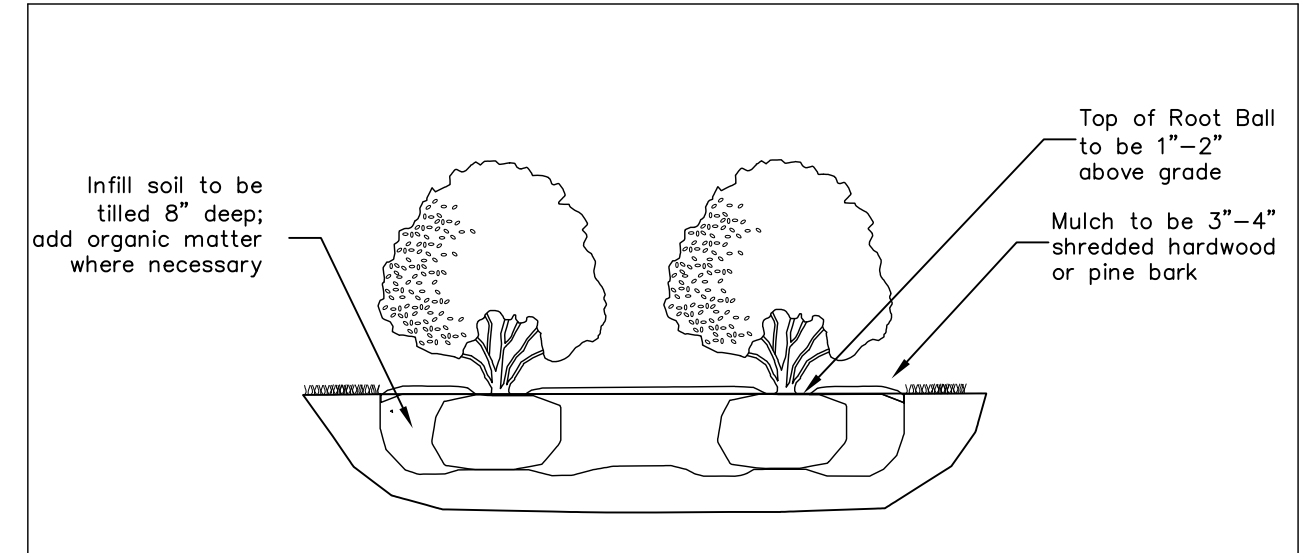
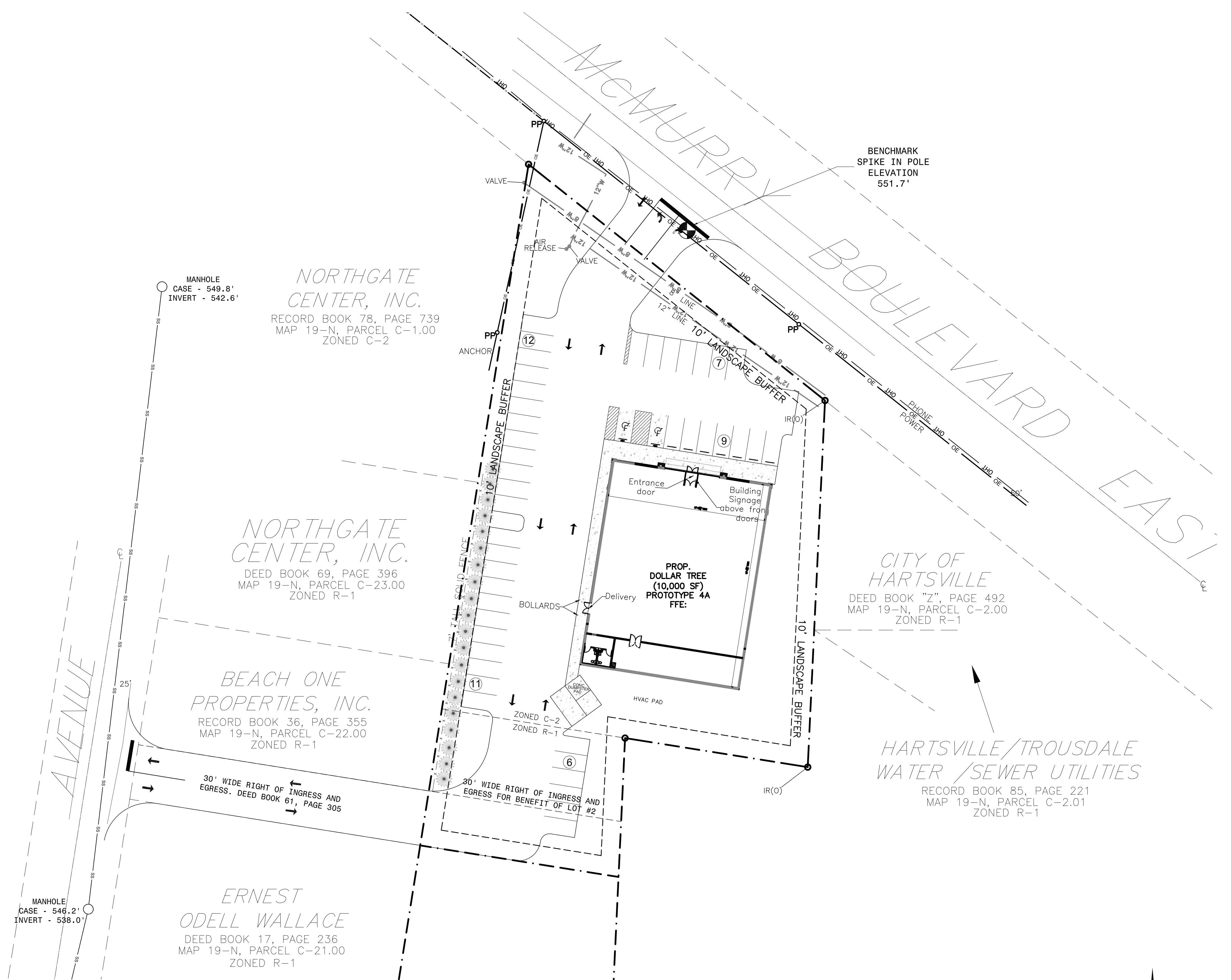
**DOLLAR TREE
 HWY 25
 HARTSVILLE, TN**

PROJECT	
REVISION DATES	
DATE	MAY 24, 2023
SHEET	C-6.0 OF 10
JOB No.	23008

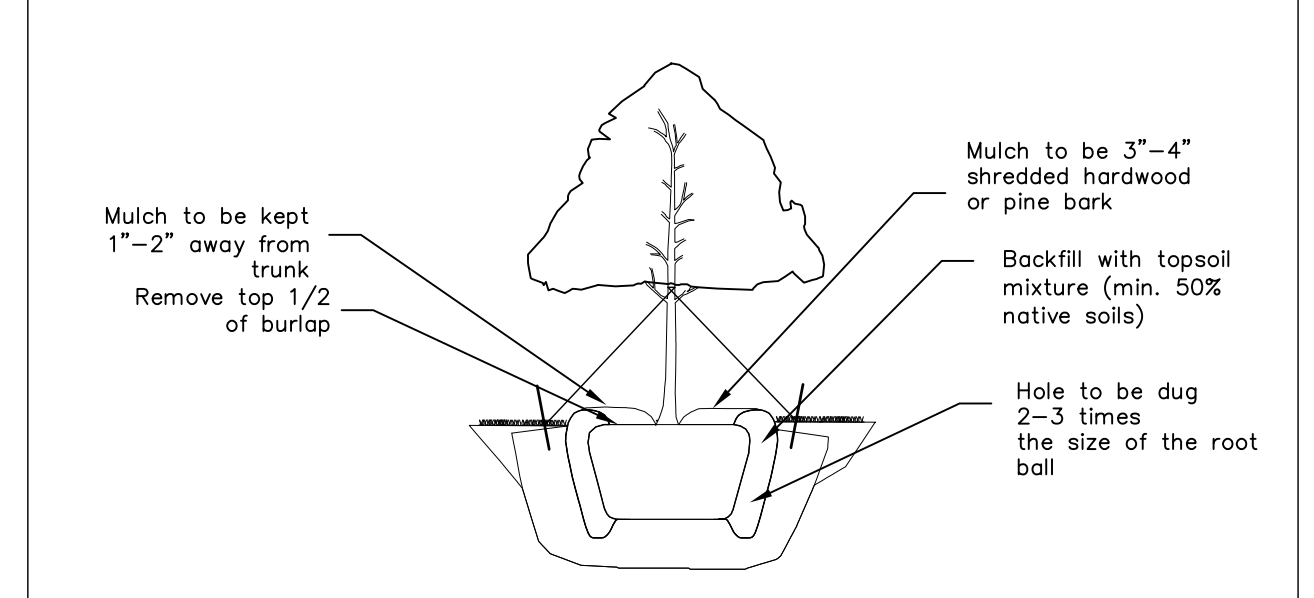


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**DOLLAR TREE
HWY 25
HARTSVILLE, TN**

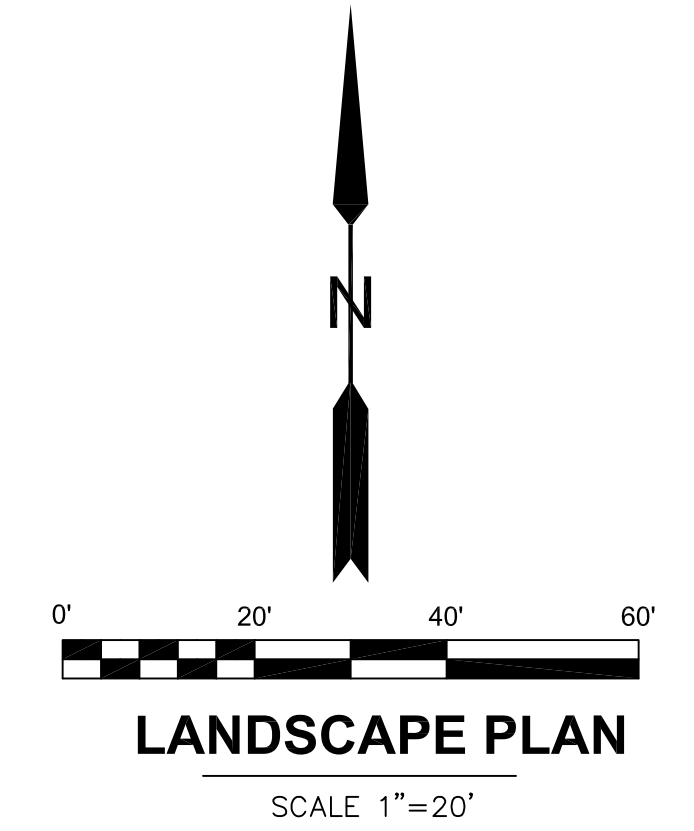


NTS Shrub Planting Detail



NTS Deciduous Tree Planting Detail

Symbol	Common Name	Botanical Name	Spacing	Size	Quantity
	Leyland Cypress	CUPRESSOCYPARIS LEYLANDII	as shown	3.5 gal.	20



THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

PROJECT	
REVISION DATES	
DATE	MAY 24, 2023
SHEET	L-1.0 OF 1
JOB No.	23008